

# Applicant Information Form 1a Notified or Non-notified Process



Department of  
Conservation  
*Te Papa Atawhai*

New Zealand Government

## Is this the right application form for me?

This **Applicant Information Form 1a** – Notified or Non-notified Process must be completed for **the following longer term applications** (i.e. not one-off applications):

- Grazing
- Land use: Tenancing and/or using existing DOC facility/structure
- Land use: Use of public conservation land for private commercial facility/structure
- Guiding/Tourism/Recreation: Watercraft activities
- Filming
- Sports events
- Marine reserves application form 11a: Structure in a marine reserve

For other activities use the specific activity application forms that combine applicant and activity information or book a pre-application meeting.

## How do I complete this applicant information form?

- Complete all sections of this **applicant information form**.
- In addition, you must complete the **activity application form/s** that you wish to undertake.
- DOC encourages electronic applications (e.g. typed Word document), rather than handwritten applications. Electronic applications are easier to read and less likely to be returned to you for clarification.
- If you need extra space, attach or include extra documents and label them according to the relevant section. Record all attachments in the table at the back of the application information form section **F Attachments**.

## How do I submit my application?

Email the following to [permissions@doc.govt.nz](mailto:permissions@doc.govt.nz):

- **Completed applicant information form 1a**
- **Completed activity application form**
- Any other relevant attachments.

## If I need help, where do I get more information?

- Check the [DOC webpage for the activity you are applying](#)<sup>1</sup> for.

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<sup>1</sup> <https://www.doc.govt.nz/get-involved/apply-for-permits/apply-for-a-permit/>

- Arrange a pre-application meeting (either face to face or over the phone) by contacting the [Department of Conservation Office](#)<sup>2</sup> closest to where the activity is proposed. You can use [DOC maps](#)<sup>3</sup> to identify which District Office you should contact. Or arrange a meeting with any of our [four offices that process concessions](#)<sup>4</sup> – choose the one closest to where the activity is proposed.
- If your application covers multiple districts, contact the office nearest most of the locations you are applying for, or nearest to locations you have a specific question about.

### What happens next?

Once your application forms are received, your application will be assessed by DOC. If your application is complete, DOC will begin processing.

If your application is incomplete it will be returned to you for more information.

### Why does DOC ask for this information?

The questions in this application information form and the activity application form/s are designed to cover the requirements set out in conservation legislation. Your answers allow us to assess:

- Your most up-to-date details so that DOC can contact you about your application.
- Your qualifications, resources, skills and experience to adequately conduct the activity on public conservation land.
- Your creditworthiness will help determine whether DOC should extend credit to you and set up a DOC customer accounts receivable credit account for cost recovery. To make this assessment DOC will supply your information to a credit checking agency.

### Note:

- Personal information will be managed by DOC confidentially. For further information check [DOC's privacy and security statements](#)<sup>5</sup>.
- Information collected by DOC will be supplied to a debt collection agency in the event of non-payment of payable fees.

### What fees will I pay?

You may be required to pay a **processing fee** for this application regardless of whether your application is granted or not. You may request an estimate of the processing fees for your application. If you request an estimate, DOC may require you to pay the reasonable costs of the estimate prior to it being prepared. DOC will not process your application until the estimate has been provided to you. In addition, if you are granted a guiding concession on public conservation land you may be required to pay annual **activity and management fees**. These fees are listed on the [DOC webpage for the activity you are applying](#)<sup>6</sup> for.

DOC will invoice your processing fees after your application has been considered. If your application is large or complex, DOC may undertake billing at intervals periodically during processing until a decision is made. If you withdraw your application DOC will invoice you for the costs incurred up to the point of your withdrawal.

<sup>2</sup> [www.doc.govt.nz/footer-links/contact-us/office-by-name/](http://www.doc.govt.nz/footer-links/contact-us/office-by-name/)

<sup>3</sup> <http://maps.doc.govt.nz/mapviewer/index.html?viewer=docmaps>

<sup>4</sup> <https://www.doc.govt.nz/get-involved/apply-for-permits/contacts>

<sup>5</sup> <https://www.doc.govt.nz/footer-links/privacy-and-security/>

<sup>6</sup> <https://www.doc.govt.nz/get-involved/apply-for-permits/apply-for-a-permit/>

**Your application will set up a credit account with DOC.** See the checklist at the end of the form for the terms and conditions you need to accept for a DOC credit account.

### **Will my application be publicly notified?**

Your application will be publicly notified if:

- It is a license with a term of more than 10 years.
- It is a lease.
- After having regard to the effects of the activity, DOC considers it appropriate to do so.

Public notification will increase the time and cost of processing of your application.

### **What does DOC require if my application is approved?**

If your application is approved DOC requires:

- **Insurance** to indemnify the Minister of Conservation against any claims or liabilities arising from your actions. The level of insurance cover will depend on the activity.
- A copy of your **safety plan** audited by an external expert (e.g. Health and Safety in Employment (Adventure Activity) Regulations 2011 audit or a DOC listed organisation). See the [Safety Plan](#)<sup>7</sup> information on the DOC website for further information.

**Note:** DOC/Minister can vary the concession if the information on which the concession was granted contained material inaccuracies. DOC may also recover any costs incurred.

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<sup>7</sup> <https://www.doc.govt.nz/get-involved/apply-for-permits/managing-your-concession/safety-plans/>

## A. Applicant details

Legal status of applicant (tick)	<input checked="" type="checkbox"/> Individual (Go to ①)	<input type="checkbox"/> Registered company (Go to ②)	<input type="checkbox"/> Trust (Go to ②)
	<input type="checkbox"/> Incorporated society (Go to ②)	<input type="checkbox"/> Other e.g. Educational institutes (Go to ②)	

<b>①</b>	Applicant name (individual)	BRUCE & JANET LINTERN		
	Phone	Mobile phone		
	Email			
	Physical address			Postcode
	Postal address (if different from above)			Postcode

<b>②</b>	Applicant name (full name of registered company, trust, incorporated society or other)			
	Trading name (if different from applicant name)			
	NZBN if applicable (to apply go to: <a href="https://www.nzbn.govt.nz">https://www.nzbn.govt.nz</a> )	Company, trust or incorporated society registration number		
	Registered office of company or incorporated society (if applicable)	N/A		
	Company phone	Company website		
	Contact person and role			
	Phone	Mobile phone		
	Email			
	Postal address			Postcode
	Street address (if different from postal address)			Postcode

## B. Pre-application meeting

Have you had a pre-application meeting or spoken to someone in DOC?

No	<input type="checkbox"/>
Yes	<input checked="" type="checkbox"/>

- If yes record the:

Date of DOC pre-application meeting(s)	04/06/2019 & 09/11/2021
Name of DOC staff member	WENDY SULLIVAN / RAJA MAZZOTTI - VETER
Name of person who had the pre-application meeting with DOC ON 09/11/2021	DR BRUCE LINTERN, GAVIN COOPER (RMA CONSULTANT) & RICKI PALATICHIE (ARCHITECT)

## C. Activity applied for

Tick the **activity application form** applicable to the activity you wish to undertake on public conservation land. Complete the applicant information form and the activity application form and email them with any attachments to [permissions@doc.govt.nz](mailto:permissions@doc.govt.nz)

ACTIVITY APPLICATION FORM*	FORM NO.	TICK
Grazing	2a	<input type="checkbox"/>
Land use: Tenanting and/or using existing DOC facility/structure	3a	<input type="checkbox"/>
Land use: Use of public conservation land for private/commercial facility/structure	3b	<input checked="" type="checkbox"/>
Guiding/Tourism/Recreation: Watercraft activities	4b	<input type="checkbox"/>
Filming	5a	<input type="checkbox"/>
Sporting Events	6a	<input type="checkbox"/>
Marine reserves application form: Structure in a marine reserve	11a	<input type="checkbox"/>
Other activities (not covered in the above forms or in the new activity application forms that combine applicant and activity information)	7a	<input type="checkbox"/>

**Note:** If the activity is not in this list check the activity on the DOC website to find the correct application form or book a pre-application meeting. Application forms that combine applicant and activity information on the DOC website include:

- [Aircraft activities](#)<sup>8</sup>
- [Easements](#)<sup>9</sup>
- [Land based guiding](#)<sup>10</sup>

<sup>8</sup> <https://www.doc.govt.nz/get-involved/apply-for-permits/business-or-activity/aircraft-activities/>

<sup>9</sup> <https://www.doc.govt.nz/get-involved/apply-for-permits/business-or-activity/access-easements/>

<sup>10</sup> <https://www.doc.govt.nz/get-involved/apply-for-permits/business-or-activity/land-based-guided-activities/>

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### D. Are you applying for anything else?

Are you submitting any other application forms in relation to this application?

No NOT WITH DOC, BUT RCA

Yes APPLICATION THROUGH MDC

- If yes, state which application forms:

RMA FORMS VIA MDC

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### E. Background experience of applicant

Provide relevant information relating to your ability to carry out the proposed activity (e.g. details of previous concessions, membership of professional organisations, and relevant qualifications).

LANDOWNER, BUT ENGAGED ARCHITECT AND RMA SPECIALISTS TO ASSIST WITH PROCESS. BUILDER WILL BE ENGAGED EARLY IN NEW YEAR.

## F. Attachments

Attachments should *only* be used if there is:

- Not enough space on the form to finish your answer
- You have additional information that supports your answer
- You wish to make an additional request of DOC regarding the application.

Label each document clearly and complete the table below.

Section of the application form the attachment relates to	Document title	Document format (e.g. Word, PDF, Excel, jpg etc.)	Description of attachment
<u>Correct example</u> ✓ D	Locations	PDF	Trust Deed.
<u>Incorrect example</u> X Table	Doc1	Word	Table
D			AEE EXTRACT FROM RCA APPLICATION (DRAFT)

## G. Checklist

Application checklist	Tick
I have completed all sections of this applicant information form relevant to my application and understand that the form will be returned to me if it is incomplete.	<input checked="" type="checkbox"/>
I certify that the information provided in this applicant information form, and any attached additional forms is, to the best of my knowledge, true and correct.	<input checked="" type="checkbox"/>
I have completed the <b>activity application form</b> .	<input checked="" type="checkbox"/>
I have appropriately labelled all attachments and completed section <b>F Attachments</b> .	<input checked="" type="checkbox"/>
I will email <a href="mailto:permissions@doc.govt.nz">permissions@doc.govt.nz</a> my: <ul style="list-style-type: none"> <li>• Completed applicant information form</li> <li>• Completed activity application form/s</li> <li>• Any other attachments.</li> </ul>	<input checked="" type="checkbox"/>

+ KATA MAZZOTTI - VETTER  
 \$ TRISH GILL

## H. Terms and conditions for a credit account with the Department of Conservation

Have you held an account with the Department of Conservation before? Tick

No

Yes

If 'yes' under what name

In ticking this checklist and placing your name below you are acknowledging that you have read and agreed to the terms and conditions for an account with the Department of Conservation

**Terms and conditions** **Tick**

I/We agree that the Department of Conservation can provide my/our details to the Department's Credit Checking Agency to enable it to conduct a full credit check.

I/We agree that any change which affects the trading address, legal entity, structure of management or control of the applicant's company (as detailed in this application) will be notified in writing to the Department of Conservation within 7 days of that change becoming effective.

I/We agree to notify the Department of Conservation of any disputed charges within 14 days of the date of the invoice.

I/We agree to fully pay the Department of Conservation for any invoice received on or before the due date.

I/We agree to pay all costs incurred (including interest, legal costs and debt recovery fees) to recover any money owing on this account.

I/We agree that the credit account provided by the Department of Conservation may be withdrawn by the Department of Conservation, if any terms and conditions (as above) of the credit account are not met.

I/We agree that the Department of Conservation can provide my details to the Department's Debt Collection Agency in the event of non-payment of payable fees.

Typed applicant name/s *ROSE & JANET LINTERN*

Date *29-11-21*



### For Departmental use

Credit check completed

Comments:

Signed

Name

Approved (Tier 4 manager or above)

Name





The Department recommends that you contact the Department of Conservation Office closest to where the activity is proposed to discuss the application prior to completing the application forms. Please provide all information requested in as much detail as possible. Applicants will be advised if further information is required before this application can be processed by the Department.

This form is to be used when the proposed activity is the building or use of any private or commercial facility or structure on public conservation land managed by the Department of Conservation. Examples may include lease of land to erect an information centre; authorisation to erect a weather station; or construct or lease a private/commercial campground or lodge. This form is to be completed in conjunction with either Applicant Information Form 1a (longer term concession) or Applicant Information Form 1b (one-off concession) as appropriate.

Please complete this application form, attach Form 1a or Form 1b, and any other applicable forms and information and send to [permissions@doc.govt.nz](mailto:permissions@doc.govt.nz). The Department will process the application and issue a concession if it is satisfied that the application meets all the requirements for granting a concession under the Conservation Act 1987.

If you require extra space for answering please attach and label according to the relevant section.

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## A. Description of Activity

Please describe the proposed activity in detail – where the site is located, please use NZTM GPS coordinates where possible, what you intend to use the building for, whether you intend to make any changes to the infrastructure.

Please include the name and status of the public conservation land, the size of the area for which you are applying and why this area has been chosen.

If necessary, attach further information including a map, a detailed site plan and drawings of proposal and label Attachment 3b:A.

LOCATE DECKS AND NEW STAIRS ON ESPLANADE RESERVE AT  
MOENUI BAY, LINLWATER

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## B. Alternative sites considered

If your application is to **build, extend or add** to any permanent or temporary structures or facilities on public conservation land, please provide the following details:

- Could this structure or facility be reasonably located outside public conservation land? Provide details of other sites/areas considered.
- Could any potential adverse effects be significantly less (and/or different) in another conservation area or another part of the conservation area to which the application relates? Give details/reasons

NOT FEASIBLE - PROPOSED DECK TO BE CONNECTED TO A DWELLING  
UNDER RENOVATION

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## C. Larger area

Is the size of the area you are applying for **larger** than the structure/facility

YES / **NO**

If **yes**, please detail the size difference in the box below, and answer the following 3 questions, if **no** please go on to the next section:

Is this necessary for safety or security purposes? **ALLOWS SAFE ACCESS INTO DWELLING** **YES** / NO

Is this necessary as an integral part of the activity? **REFER ABOVE** **YES** / NO

Is this essential to carrying on the activity? **REFER ABOVE** **YES** / NO

If the answer to any of the above is yes, please provide details and attach supporting evidence if necessary and label Attachment 3b:C.

SITE TOPOGRAPHY DICTATED WHERE HOUSE WAS ORIGINALLY SITED,  
THIS PROPOSAL REDUCES THE DWELLING FOOTPRINT ON THE RESERVE  
LAND WHILST STILL ALLOWING SAFE ACCESS

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### D. Exclusive possession

Do you believe you need **exclusive possession** of the public conservation land on which your structure/building is located, ie no one else can use the land during your use of it?  
(Exclusive occupation requires a lease which requires public notification of the application)

YES /  NO

If **yes**, please answer the following 3 questions, if no please go to the next section:

Is exclusive possession necessary to protect public safety?

YES /  NO

Is exclusive possession necessary to protect physical security of the activity?

YES /  NO

Is exclusive possession necessary for the competent operation of the activity? N/A

~~YES / NO~~

If the answer to any of the above is yes, please provide details and attach supporting evidence if necessary and label Attachment 3b:D.

IDEA OF DECK IS THAT IT ALLOWS ACCESS TO FRONT OF RENOVATED DWELLING ENSURING IT REMAINS FIT FOR PURPOSE GOING FORWARD.

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### E. Technical Specifications (for telecommunications sites only)

Frequencies on which the equipment is to operate

Power to be used (transmitter output)

Polarisation of the signal

Type of antennae

The likely portion of a 24 hour period that transmitting will occur

Heaviest period of use

N/A

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### F. Term

Please detail the length of the term sought (i.e. number of years or months) and why.

*Note: An application for a concession for a period over 10 years must be publicly notified, an application for a concession up to 10 years will not be publicly notified unless the adverse effects of the activity are such that it is required, or if an exclusive interest in the land is required.*

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## G. Bulk fuel storage

Under the Hazardous Substances and New Organisms Act 1996 (HSNO Act) 'Bulk fuel storage' is considered to be any single container, stationary or mobile, used or unused, that has a capacity in excess of 250 litres of Class 3 fuel types. This includes petrol, diesel, aviation gasoline, kerosene and Jet A1. For more information on Hazardous Substances, go to:

<http://www.business.govt.nz/worksafe/information-guidance/legal-framework/hsno-act-1996>

Do you intend to store fuel in bulk on the land as part of the activity?

YES /  NO

N/A

If you have answered yes, then please provide full details of how and where you intend to store the fuel, and label any attachments including plans, maps and/or photographs as Attachment 3b:G. If your concession application is approved you will be required to provide a copy of your HSNO compliance certification to the Department before you begin the activity.

## H. Environmental Impact Assessment

This section is one of the most important factors that will determine the Department's decision on the application. Please answer in detail.

In column 1 please list all the locations of your proposal, please use NZTM GPS coordinates where possible. In column 2 list any special features of the environment or the recreation values of that area. Then in column 3 list any effects (positive or adverse) that your activity may have on the values or features in column 2. In column 4 list the ways you intend to mitigate, remedy or avoid any adverse effects noted in column 3. Please add extra information or supporting evidence as necessary and label Attachment 3b:H.

Refer to Steps 1 and 2 in your Guide to Environmental Impact Assessment to help you fill in this section.

Location on public conservation land	Special feature or value	Potential effects of your activity on the feature or value (positive or adverse)	Methods to remedy, mitigate or avoid any adverse effects identified
EG: Tararua Forest Park	Northern rata - threatened species	Damage to the plants by construction	Brief construction and maintenance staff of the location and importance of the species; clearly tape off areas with the species to avoid damage

ESPLANADE RESERVE,  
MOENUI, TOTARANUI

REFER RCA APPLICATION  
ATTACHED AT 3b(H)

REFER MITIGATION OFFERED IN  
AEE ATTACHED AT 3b:(H).

REFER RT'S ATTACHED  
AT 3b:(H)

REFER TO ARCHITECT PLANS  
ATTACHED AT 3b:(H)

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## I. Other

Is there any further information you wish to supply in support of your application? Please attach if necessary and label Attachment 3a:l.

SEE ATTACHED

- RCA APPLICATION IN DRAFT CONTAINING SUPPORTING AEE [3b:(H)]
- COPY OF RECORD OF TITLE & GAZETTE NOTICE FOR ESPRANDE RESERVE [3b:(H)]
- CONSENT PLANS PREPARED BY ARCHITECT INCLUDING LOCATION AND SITE PLANS [3b:(H)]
- STATEMENT WHY DECK IS REQUIRED [3b:(C)]

**Attachments: Lintern, 70 Moenui Road, Totaranui**

**3b:A & 3b:H, comprising:**

- 1. Site Plan**
- 2. RCA – as lodged with Marlborough District Council on 29 November 2021**
- 3. Records of Title**
- 4. Architects Plans**

# Application for Resource Consent

## Applicant details

### Application for Resource Consent

Sections 88 and 145, Resource Management Act 1991

### To

Marlborough District Council

## Applicant

I,

Bruce & Janet Lintern

[Redacted]  
[Redacted]  
[Redacted]  
[Redacted]

### Apply for the following type(s) of resource consent

Land use

## Agent

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GDC Consulting (2010) Ltd

[Redacted]  
[Redacted]

Gavin Cooper

[Redacted]  
[Redacted]

### Project reference

RCA - Lintern, Moenui Road



# Property details

## Site and location details

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The site at which the proposed activity is to occur is as follows:

### Site address

70 Moenui Road  
Havelock  
Marlborough  
New Zealand

### Legal description

1. LOT 30 DP 2198 BLK XII WAKAMARINA SD (70 Moenui Rd) & 2. (CU 1152) LOT 18 DP 2094 LOT 37 DP 2198 (ESPLANADE RESERVE) - docs attached

### Is there locale information in regards to the site?

No - there is no locale information in regards to the site

## Site description

### Description of the site at which the activity is to occur

70 Moenui Road (the site) is a residential section in a cluster of established residential housing in Moenui township, perched above the Mahakiapawa Arm, Linkwater.

The site measures a land area of 809 square metres and has a dwelling located on it. Department of Conservation (DOC) managed Esplanade Reserve (reserve) fronts the site. The property falls away to the sea on the northern boundary and topography has dictated where the original house was built. The reserve adjacent is a combination of grass and regenerating native bush.

A set of existing timber steps runs through a section of the property down to the beach below.

Part of the dwelling is currently situated over the boundary of the site, encroaching into the reserve. Over the years, improvements have been made to the dwelling requiring sign-off from Department of Conservation (DOC) as the land manager of the reserve adjacent. In all cases written sign-off has been obtained from DOC.

Architects plans are **attached** showing the existing and proposed renovation layout on the property.

## Owners and occupiers of the application site

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### Applicant is the only owner and occupier?

No - the applicant is not the only owner and occupier

The full name and address, of each owner or occupier (other than the applicant) of the site to which the application relates are as follows:

## Individual's details

Department of Conservation, [REDACTED]

[REDACTED]

[REDACTED]

Are they an owner and/or occupier?

Owner

## Proposed activity

### Description of the activity

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The activity to which the application relates (the proposed activity) is as follows:

The applicant is in the process of undertaking renovations to their dwelling on the property.

The applicant is applying for land-use activity consents for the following activities:

1. Locate upgraded dwelling within the 8 metre front yard, fronting DOC esplanade reserve;
2. Obtain a 100% front yard dispensation to site new deck and a set of replacement steps in front of the dwelling that also encroaches into DOC esplanade reserve land adjacent
3. Minor encroachment of recession planes on eastern and southern boundary's; and
4. Regularise a set of existing timber steps running through the property to the bay below.

Refer Architect Plans **attached**.

### Other activities that are part of the proposal to which the application relates

Are there permissions needed which do not relate to the Resource Management Act 1991?

Yes - there are permissions needed which do not relate to the Resource Management Act 1991

Permissions needed which do not relate to the Resource Management Act 1991

Application to DOC for Licence to Occupy Esplanade Reserve is required. Application has been lodged concurrently with this resource consent application.

Are there permitted activities that are part of this application?

No - there are no permitted activities that are part of this application

## Additional resource consents

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Are any additional resource consents needed for the proposal to which this application relates?

No - no additional resource consents are needed for the proposal to which this application relates

## Consent summary

I apply for the following resource consents.

## Consent information

**Land Use Activity - encroachment into and over front yard (house, deck and existing steps to beach) and minor recession plane encroachment**

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### Consent type

Land use

### Subcategory type

Activity

### Description of consent being applied for

The applicant is in the process of undertaking renovations to the dwelling on the property.

The applicant is applying for land-use activity consents for the following activities:

1. Locate upgraded dwelling within the 8 metre front yard, fronting DOC esplanade reserve;
2. Obtain a 100% front yard dispensation to site new deck and a set of replacement steps in front of the dwelling that also encroaches into DOC esplanade reserve land adjacent
3. Minor encroachment of recession planes on eastern and southern boundary's; and
4. Regularise a set of existing timber steps running through the property to the bay below.

Refer Architect Plans **attached**.

## Location of the consent

### Easting

1666771.803

### Northing

5430165.891





## Triggering rules

### Rules which trigger the consent

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I include an assessment of the proposed activity against any relevant provisions of a document referred to in section 104(1)(b) of the Resource Management Act 1991, including the information required by clause 2(2) of Schedule 4 of that Act.

The assessment under this section must include an assessment of the activity against

- (a) Rules in a document; and
- (b) Any relevant requirements, conditions, or permission in any rules in a document; and
- (c) Any other relevant requirements in a document (for example, in a national environmental standard or other regulations))

#### Triggering rules assessment

##### **Marlborough Sounds Resource Management Plan (MSRMP):**

70 Moenui Road is zoned Sounds Residential.

Residential activity is a listed **Permitted Activity** in the zone.

Whilst the proposed renovations will pull some of the original dwelling back from the esplanade reserve, some of the new dwelling will still be sited approximately 1.4 metres from the front boundary and the proposed deck and steps will encroach 100% of the front yard (and onto the esplanade reserve adjacent). This means the proposal to renovate the dwelling and site the new deck and steps defaults to **Discretionary Activity** status in accordance with **Rule 30.4**, bullet point 1 - "*Activities listed as Permitted Activities which do not comply with conditions or with the provisions for minor non-compliance dealt with as Limited Discretionary Activities*".

The DOC managed reserve land is zoned Conservation. By default, the proposal to build a deck and steps over a portion of this land should be considered a **Non-Complying Activity** in accordance with Rule 38.5, bullet point 1 - "*Any activity other than a Prohibited Activity which is neither a Permitted Activity, Controlled Activity, Limited Discretionary Activity nor a Discretionary Activity*". Taking a precautionary approach, regularising the existing steps to the bay below would also default to **Non-Complying Activity** status under the same Rule. From a building perspective, this is an interesting anomaly, given that building such structures looks like they would have been considered a **Discretionary Activity** if the site was in a Riparian Management Zone.

The proposed minor encroachment of recession planes should be considered as a **Limited Discretionary Activity** in accordance with Rule 30.3, bullet point 1 - "*Minor Non-Compliance*". Standard 30.3.1, bullet point 2

makes provision for consideration of "...buildings encroaching the height envelope created by the recession plane angles by a maximum of 1.0 metre in any direction".

**Proposed Marlborough Environment Plan (PMEP):**

70 Moenui Road is zoned Coastal Living.

Residential activity is a listed **Permitted Activity** in the zone.

Residential Activity is a listed **Permitted Activity** in the zone. Unfortunately, standard 7.2.1.5. says that a building must not be constructed or sited within 28 metres of the Coastal Marine Zone. Given this aspect of the proposal seeks dispensation, this aspect defaults the proposal to **Discretionary Activity** status in accordance with Rule 7.4.1. - "Any activity provided for as a Permitted Activity that does not meet the applicable standards".

Standard 7.2.1.6. states that with recession planes on a site smaller than 4,000 square metres, no part of any building must exceed a height equal to the recession plane angle determined by the application of the Recession Plane and Height Controls in Appendix 26 of the Plan. Again, the plans confirm minor breaches of the recession planes and as such rule 7.4.1 applies at a **Discretionary Activity** level - "Any activity provided for as a Permitted Activity that does not meet the applicable standards".

The Esplanade Reserve is zoned Open Space 3.

Building on and over Open Space 3 land is a **Discretionary Activity** in accordance with default Rule 19.4.3 - "any use of land not provided for as a Permitted Activity or limited as a Prohibited Activity".

Regularising the existing steps down to the bay below should also be considered as a **Discretionary Activity** in accordance with Rule 19.4.3 - "any use of land not provided for as a Permitted Activity or limited as a Prohibited Activity".

Overall, the proposal, when bundled, has to be considered via the strictest status, ie, **non-complying activity** status under the operative plan. However, when applying some context to the situation:

- the property is zoned for residential activity
- the proposed renovations further remove some of the residential activity off the reserve land adjacent (importantly, removing the concrete slab from reserve land)
- recession plane encroachment is very minor and does not effect sunlight into any dwelling adjacent or the reserve land; and
- the steps passing through a section of the property to the bay below are existing and used by everyone in the community for access. No further works are required to these steps and their continued use causes no further additional adverse effect on the local environment.

## Assessment of Effects on the Environment (AEE)

### Clause 6 - Information required in assessment of environmental effects

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#### 6.1 An assessment of the activity's effect on the environment must include the following information:

6.1(a) if it is likely that the activity will result in any significant adverse effect on the environment, a description of any possible alternative locations or methods for undertaking the activity

Provision not relevant

#### 6.1(b) an assessment of the actual and potential effect on the environment of the activity

Residential activity on the site is well established.

The property is zoned for residential activity; proposed renovations further remove some of the residential activity off the reserve adjacent back into the applicant's front yard; the recession plane encroachment is minor and does not effect sunlight into any dwelling adjacent; the existing steps passing through a section of the property down to the bay are existing and used by everyone in the community for access. No further works are required to these steps and their continued use causes no further additional adverse effect on the local environment.

Importantly, the improvements to the dwelling, deck & steps will allow the applicant to make better functional use of the dwelling, which they expect to become their main residence at some stage in the next few years.

No further bedrooms are being created and the activity is not increasing the scale of the residential activity onsite.

Overall, no further adverse effects are anticipated as a result of improving the dwelling or constructing the new deck and steps.

**6.1(c) if the activity includes the use of hazardous installations, an assessment of any risks to the environment that are likely to arise from such use**

Provision not relevant

**6.1(d)(i) if the activity includes the discharge of any contaminant, a description of the nature of the discharge and the sensitivity of the receiving environment to adverse effects**

Provision not relevant

**6.1(d)(ii) if the activity includes the discharge of any contaminant, a description of any possible alternative methods of discharge, including discharge into any other receiving environment**

Provision not relevant

**6.1(e) a description of the mitigation measures (including safeguards and contingency plans where relevant) to be undertaken to help prevent or reduce the actual or potential effect.**

The proposed renovations will pull some of the existing dwelling back further from the reserve land adjacent. The concrete slab situated in the reserve land will be removed.

The applicant has also agreed with DOC to plant the area directly below and around the new deck with native plants (refer plans **attached**).

**6.1(f) identification of the persons affected by the activity,**

DOC manages the reserve land adjacent.

The applicant and agents have met with DOC staff and have explained that the proposal pulls the main dwelling footprint back from the reserve land adjacent.

DOC has supplied copy of written consent and a copy of this correspondence is attached to this application - **(TBC)**.

**6.1(f cont.) any consultation undertaken,**

The applicant and their agents have had several pre-application meetings with DOC staff and have applied for necessary licence to occupy part of the reserve land. A copy of the draft resource consent application has also been circulated to DOC's central processing unit and staff in the local Picton office.

DOC Licence application for existing steps to the beach and encroachment of the new deck and steps into the front yard and into reserve land has been lodged concurrently with this application.

**6.1(f cont.) and any response to the views of any person consulted**

**TBC.**

#### 6.1(f cont.) and any iwi consultation undertaken

No iwi consultation has been undertaken to date.

The applicant acknowledges that through an agreed process with iwi, the application will be circulated to the relevant iwi for comment by Council.

#### 6.1(g) if the scale and significance of the activity's effects are such that monitoring is required, a description of how and by whom the effects will be monitored if the activity is approved.

Provision not relevant

#### 6.1(h) if the activity will, or is likely to, have adverse effects that are more than minor on the exercise of a protected customary right, a description of possible alternative locations or methods for the exercise of the activity (unless written approval for the activity is given by the protected customary rights group).

Provision not relevant

## Clause 7 - Matters that must be addressed by assessment of environmental effects

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### 7.1 An assessment of the activity's effects on the environment must address the following matters:

#### 7.1(a) any effect on those in the neighbourhood and, where relevant, the wider community, including any social, economic, or cultural effects

Part of the existing dwelling already encroaches on and over the boundary and this proposal will lessen the encroachment into the reserve land.

The existing steps to the bay below are used by various members of the community and have been in situ for years.

#### 7.1(b) any physical effect on the locality, including any landscape and visual effects

The site is already used for residential purposes and this proposal is promoting the reduction of human influence of structures on the reserve land.

#### 7.1(c) any effect on ecosystems, including effects on plants or animals and any physical disturbances of habitats in the vicinity

The applicant proposes to plant the area beneath and around the proposed new deck with native plants. Refer plan attached.

#### 7.1(d) any effect on natural and physical resources having aesthetic, recreational, scientific, historical, spiritual, or cultural value, or other special value, for present or future generations

Provision not relevant

#### 7.1(e) any discharge of contaminants into the environment, including any unreasonable emission of noise, and options for the treatment and disposal of contaminants

Provision not relevant

**7.1(f) any risk to the neighbourhood, the wider community, or the environment through natural hazards or hazardous installations**

Provision not relevant

**Applicant's proposed conditions for this activity**

Standard land-use activity conditions are acceptable in this instance.

## Part 2 RMA

### Matters of national importance (Section 6 Resource Management Act 1991)

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#### 1. Assess your application against the following matters of national importance:

**6.1 (a) the preservation of the natural character of the coastal environment (including the coastal marine area), wetlands, and lakes and rivers and their margins, and the protection of them from inappropriate subdivision, use, and development:**

Residential activity is already well established on the site and the proposal is attempting to further mitigate siting effects on the reserve land adjacent.

**6.1 (b) the protection of outstanding natural features and landscapes from inappropriate subdivision, use, and development:**

Residential activity is already established on the site and in the general area.

**6.1 (c) the protection of areas of significant indigenous vegetation and significant habitats of indigenous fauna:**

The applicant is proposing to remove a section of the existing dwelling from the reserve land fronting the site.

**6.1 (d) the maintenance and enhancement of public access to and along the coastal marine area, lakes, and rivers:**

As part of the application, the applicant has taken it upon themselves to regularise the existing steps down to the beach below. These steps are used by the local community. The steps are in good condition and no further work is required.

**6.1 (e) the relationship of Maori and their culture and traditions with their ancestral lands, water, sites, waahi tapu, and other taonga:**

Provision not relevant

**6.1 (f) the protection of historic heritage from inappropriate subdivision, use, and development:**

Provision not relevant

**6.1 (g) the protection of protected customary rights.**

Provision not relevant

**6.1 (h) the management of significant risks from natural hazards.**



Provision not relevant

## Other matters (Section 7 Resource Management Act 1991)

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### 1. Assess your application against the following matters:

#### 7.1 (a) kaitiakitanga:

Provision not relevant

#### 7.1 (aa) the ethic of stewardship:

Provision not relevant

#### 7.1 (b) the efficient use and development of natural and physical resources:

Provision not relevant

#### 7.1 (ba) the efficiency of the end use of energy:

Provision not relevant

#### 7.1 (c) the maintenance and enhancement of amenity values:

Removing some of the existing dwelling off the reserve land improves amenity significantly.

#### 7.1 (d) intrinsic values of ecosystems:

Provision not relevant

#### 7.1 (f) maintenance and enhancement of the quality of the environment:

The applicant proposes to further improve their property so that it remains functional and fit for purpose going forward.

#### 7.1 (g) any finite characteristics of natural and physical resources:

Provision not relevant

#### 7.1 (h) the protection of the habitat of trout and salmon:

Provision not relevant

#### 7.1 (i) the effects of climate change:

Provision not relevant

#### 7.1 (j) the benefits to be derived from the use and development of renewable energy

Provision not relevant

# Treaty of Waitangi (Section 8 Resource Management Act 1991)

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## Assess your application against the principles of the Treaty of Waitangi (Te Tiriti o Waitangi)

Section 8 of the Resource Management Act 1991 requires the applicant to take into account the principles of the Treaty of Waitangi. The principles include consultation, active protection of Maori interests, partnership, reasonableness and co-operation.

The applicant acknowledges that notice of the application will be sent to the relevant iwi as part of an agreed Council process.

## Statutory instruments

I include an assessment of the proposed activity against any relevant provisions of a document referred to in section 104(1) (b) of the Resource Management Act 1991, including the information required by clause 2(2) of Schedule 4 of that Act.

The assessment under this section must include an assessment of the activity against –

- (a) Any relevant objectives, or policies in a document; and
- (b) Any relevant requirements, conditions, or permission in any rules in a document; and
- (c) Any other relevant requirements in a document (for example, in a national environmental standard or other regulations)

## Statutes that are relevant to your proposed activity

### Assessment under the Resource Management Act 1991

**Part 2** of the Resource Management Act (RMA) sets out its purpose and principles - to promote the sustainable management of natural and physical resources. The RPS and the respective combined Plans have been developed under the RMA and are generally considered to be the local implementation of the purpose and principles.

**Section 9** states that no person may use land in a manner that contravenes a national environmental standard or a district rule unless the use is expressly allowed by a resource consent.

### Assessment under the New Zealand Coastal Policy Statement

The Applicant considers that at least six (6) New Zealand Coastal Policy Statement Policies are relevant:

- 1.1.1 (extent & characteristics of the coastal environment)
- 3.1.1 (adopt precautionary approach)
- 3.2.2 (protect sites vulnerable to effects of climate change)
- 6 (activities in the coastal environment)
- 15 (natural features & landscapes); and
- 19 (public open space).

*Assessment:* These Policies seek to protect the natural character of the coastal environment by avoiding significant adverse effects on amenity values and public enjoyment of the coastal environment. The residential ribbon development and associated dwellings situated alongside the esplanade reserve means that the site and wider bay cannot be considered a pristine coastal environment. The natural character of the area has already been compromised to some extent by human influence.

### Assessment under the Marlborough Regional Policy Statement

The MRPS seeks to enable present and future generations to provide for their wellbeing by allowing use, development and protection of natural resources, provided any adverse effects of activities are avoided, remedied or mitigated.

The most relevant Policies include:

- 7.1.7 (enhancing amenity values)
- 7.2.8 (ensuring appropriate use of the coastal environment)
- 7.2.10 (protecting public access to coastal space); and
- 8.1.6 (protection of visual features).

*Assessment:* It is considered that the proposal is not contrary to these Policies and on the basis that the MSRMP, PMP and the MRPS seek similar environmental outcomes - to avoid, remedy or mitigate any established effects from activities - which have already been extensively reviewed in the preceding Assessment. As such, the applicant considers that there is no need to repeat an assessment under this Plan heading.

### **Assessment under the Marlborough Sounds Resource Management Plan**

In this instance, this plan really doesn't provide any useful Policy direction.

### **Assessment under the Proposed Marlborough Environment Plan**

#### **Chapter 3 – Tangata Whenua**

Objective 1 – The principles of the Treaty of Waitangi/Te Tiriti o Waitangi are taken into account in the exercise of the functions and powers under the Resource Management Act 1991.

*Assessment:* The wider Marlborough region is acknowledged within the Te Tau Ihu Statutory Acknowledgement provisions. The proposed development is adjacent to an area with values listed within the Statutory Acknowledgement document (tributary of a listed waterway) . The applicant acknowledges that the application will be circulated to iwi for their comment.

#### **Chapter 13 – Use of the Coastal Environment**

Chapter 13, Objective 13.2 seeks to facilitate subdivision, use or development activities in appropriate locations and forms and within appropriate limits. The proposed dwelling conforms with supporting Policies 13.2.2, 13.2.5 and 13.2.6.

Policy 13.2.5 – Amenity values of the coastal environment can be maintained and enhanced by:

1. Recognising the contribution that open space and natural character make to amenity values and provide appropriate protection to areas of open space;
2. Maintaining and enhancing coastal and freshwater quality;
3. Maintaining or enhancing areas with indigenous biodiversity value;
4. Maintaining or enhancing sites or area of particular value for outdoor recreation;
5. Making use of suitable development setbacks to avoid a sense of encroachment or domination of built form, particularly in areas of public open space and along the coastal edge;
6. Managing forms and location of development that effectively privatise the coastal edge and discourage or prevent access to and use of the coast;
7. Recognising that some areas derive their particular character and amenity value from a predominance of structures, modifications or activities, and providing for their appropriate management;
8. Establish standards for activities within the coastal environment;
9. Clustering together of structures and activities;
10. Managing the establishment of activities resulting in high traffic generation;
11. Ensuring the operation and speed of boats does not detract from people's enjoyment of the coastal marine area or cause navigational safety issues;
12. Requiring the removal of derelict or redundant structures within the coastal marine area; or
13. Encouraging appropriate design of new structures and other development in form, colour and positioning that complement, rather than detract from, the visual quality of the location.

Policy 13.2.6 – In determining the extent to which coastal amenity values will be affected by any particular subdivision, use and/or development, the following shall be considered:

1. Individual and communities values about the area subject to application;
2. The amenity related attributes of the area; and
3. In regard to the changing nature of the coastal environment, the extent to which amenity values would be so affected by the proposed subdivision, use or development that those values could no longer be maintained or enhanced.

*Assessment:* Overall, whilst it is acknowledged that there is still encroachment onto the reserve adjacent, the proposal has attempted to minimise effects. The proposed development has been designed to ensure that the renovated dwelling and deck do not detract from the visual quality of the receiving environment and the structures are no bigger than is needed to ensure the renovated dwelling and new deck and steps meet the ongoing needs of the applicant and their family.

## Additional information

### Applications affected by Section 124 or 165ZH(1)(c) of the Resource Management Act 1991

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Does this application relate to an existing consent held by the applicant which is due to expire, and the applicant is to continue the activity?

No - this application does not relate to an existing consent

### Section 85 of the Marine and Coastal Area (Takutai Moana) Act 2011

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Is the proposed activity to occur in an area within the scope of a planning document prepared by a customary marine title group under section 85 of the Marine and Coastal Area (Takutai Moana) Act 2011?

No - the proposed activity does not occur in such an area

### Additional information required for subdivision consent

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Does your application include one or more consents for subdivision?

No

### Additional information required for application for reclamation

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Does your application include one or more consents for reclamation?

No

### Plans and technical reports

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Report type	Report title	Author	External reference	Keywords	Document
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Record of title	-	LINZ	MB59/273 & MB3D/1414	-	<a href="#">RT's.pdf (372 kB)</a>
Site Plan	-	PAD Architecture Ltd	Project #2127	-	<a href="#">Site Plan - Lintern.pdf (159 kB)</a>
Building plans	-	-	-	-	<a href="#">LINTERN concept plans - finals.pdf (2 MB)</a>

## Affected person approvals

Have you obtained affected person(s) approvals?

No - I have not obtained affected person(s) approvals

## Iwi

Have you obtained approvals from iwi?

No - I have not obtained approvals from iwi

## Public notification (Section 95A(2)(b)) of the Resource Management Act 1991

Is public notification of the application requested by the applicant?

No - public notification of application is not requested

## Lodgement fee

Please see [Marlborough District Council's fees page](#) for more information.

Payment ID Code

0VL6QL

Do you require a GST receipt for a bank payment?

Yes - I do require a GST receipt for a bank payment

If further charges are incurred, please invoice

Applicant

If refunds are applicable, please refund

Applicant

### Fee comments

Please charge any additional processing fees direct to applicant

## Declaration

I confirm that the information provided in this application and the attachments are accurate.

Yes

### Authorised by (your full name)

Gavin Cooper on behalf of GDC Consulting (2010) Limited

### Authorising person is:

Person authorised to sign on behalf of the applicant

## Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form. If you lodge the application with the Environment Protection Authority, you must also lodge a notice in form 16A at the same time.

You must pay the charge payable to the consent authority for a resource consent application under the Resource Management Act 1991 (if any).

If your application is to the Environment Protection Authority, you may be required to pay actual and reasonable costs incurred in dealing with this matter (see section 149ZD of the Resource Management Act 1991).

## Privacy information

The information you have provided on this electronic form is required so that your application can be processed and so that statistics can be collected by Council. The information will be stored on a public register and held by Council. Details may be made available to the public about consents that have been applied for and issued by Council. If you would like access to or make corrections to your details, please contact Council.

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**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD  
Search Copy**



  
R.W. Muir  
Registrar-General  
of Land

**Identifier** **MB59/273**  
**Land Registration District** **Marlborough**  
**Date Issued** 25 March 1960

**Prior References**  
MB56/82

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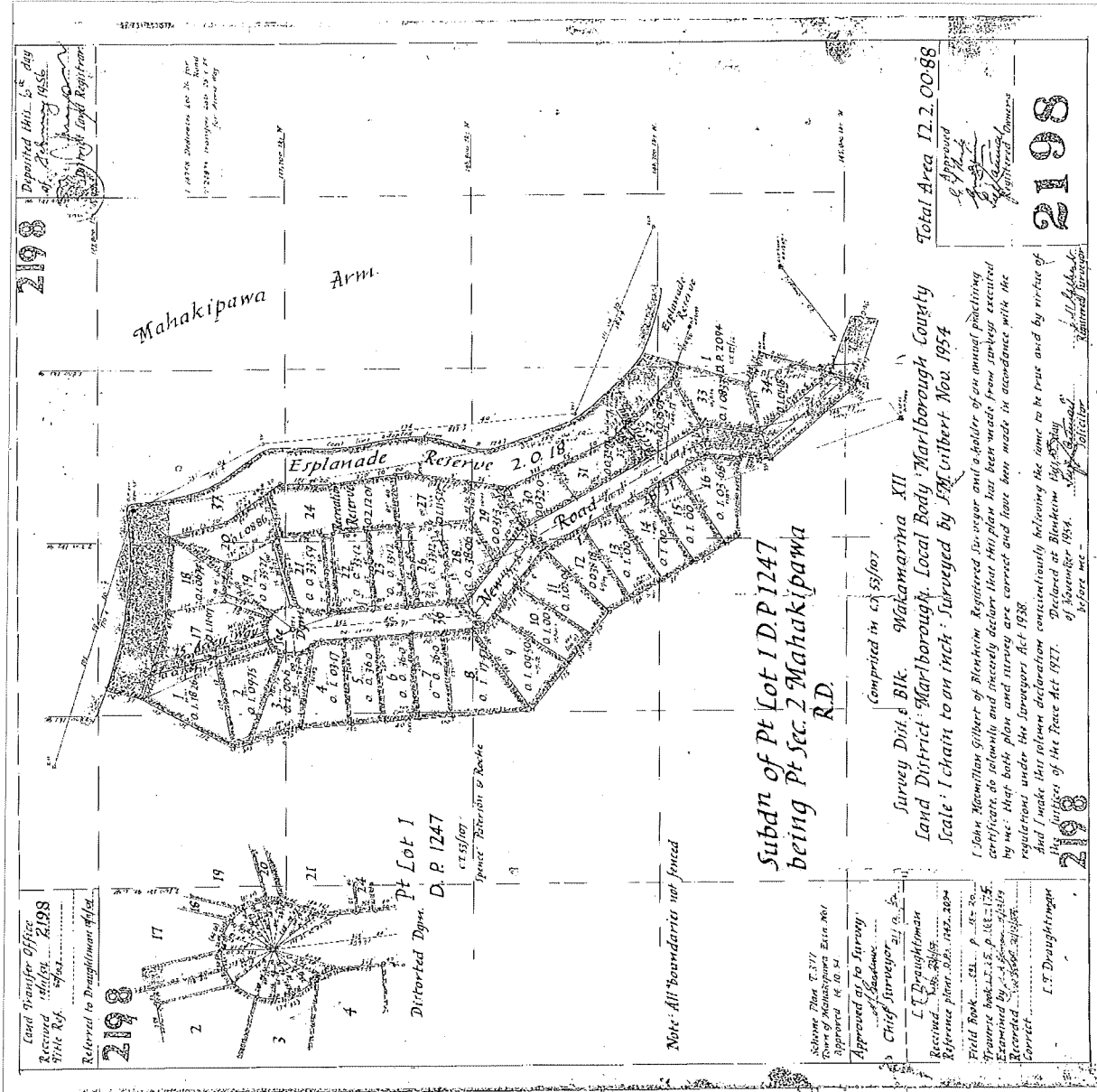
**Estate** Fee Simple  
**Area** 809 square metres more or less  
**Legal Description** Lot 30 Deposited Plan 2198

**Registered Owners**  
Bruce Malcolm Lintern as to a 1/2 share  
Janet Joan Lintern as to a 1/2 share

---

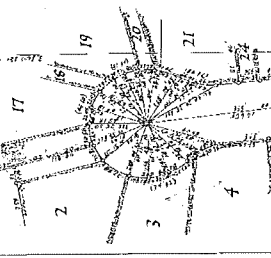
**Interests**

22571 Certificate imposing Building Line Restriction  
9595098.2 Mortgage to Westpac New Zealand Limited - 19.12.2013 at 2:21 pm



Used Transfer Office  
 Received Office  
 Title No. 2198  
 Referred to Draughtsmen's Office

2198



Distorted Diagram  
 Pt Lot 1  
 D. P. 1247  
 1/11/54

Note: All boundaries not fenced

Subdn of Pt Lot 1 D. P. 1247  
 being Pt Sec. 2 Mahakipawa  
 R.D.

Comprised in C.S. 55/107

Survey Dist. 6 Blk. Wakamarama XIII  
 Land District: Marlborough, Local Body Marlborough County  
 Scale: 1 chain to an inch: Surveyed by F.M. Gilbert Nov. 1954

Total Area 12.2.00.88

I, John Macmillan Gilbert of Blenheim, Registered Surveyor and a holder of an annual practicing certificate, do solemnly and sincerely declare that this plan has been made from surveys executed by me; that both plan and survey are correct and have been made in accordance with the regulations under the Surveyors Act 1938.  
 And I make this solemn declaration conscientiously believing the same to be true and by virtue of the oaths of office of which I am a holder.  
 Declared at Blenheim this 11th day of November 1954.  
 J. M. Gilbert  
 Registered Surveyor

Approved  
 L. T. Draughtsmen  
 Registered Draughtsmen

2198

2198

L. T. Draughtsmen





**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD  
Search Copy**



  
R. W. Muir  
Registrar-General  
of Land

**Identifier** MB3D/1414  
**Land Registration District** Marlborough  
**Date Issued** 15 July 1982

**Prior References**

GN 31424

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<b>Estate</b>	Fee Simple
<b>Area</b>	1.6390 hectares more or less
<b>Legal Description</b>	Lot 18 Deposited Plan 2094 and Lot 37 Deposited Plan 2198
<b>Purpose</b>	Reserve (for esplanade purposes)

**Registered Owners**

Her Majesty The Queen

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**Interests**

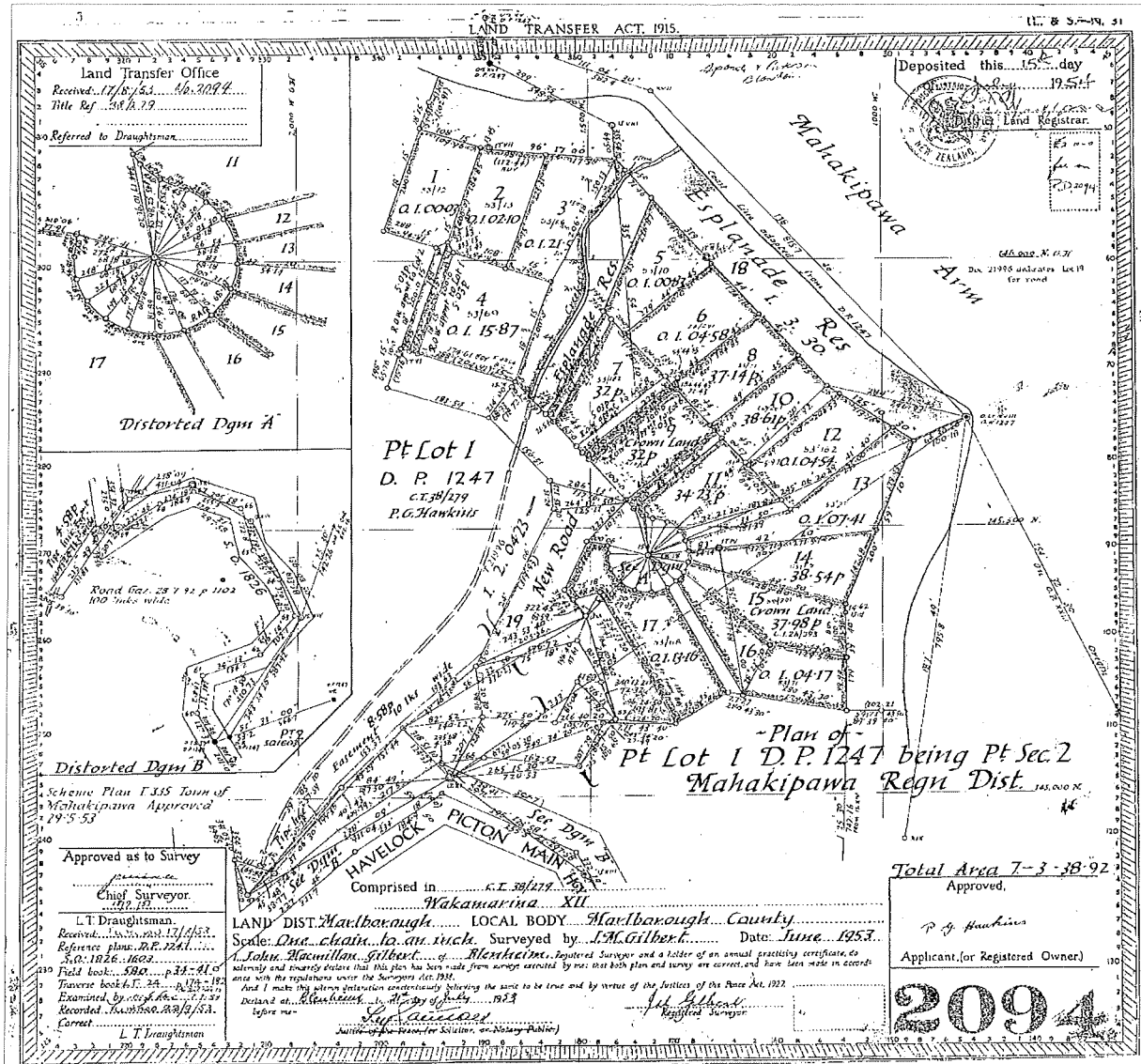
**SUBJECT TO THE RESERVES ACT 1977**

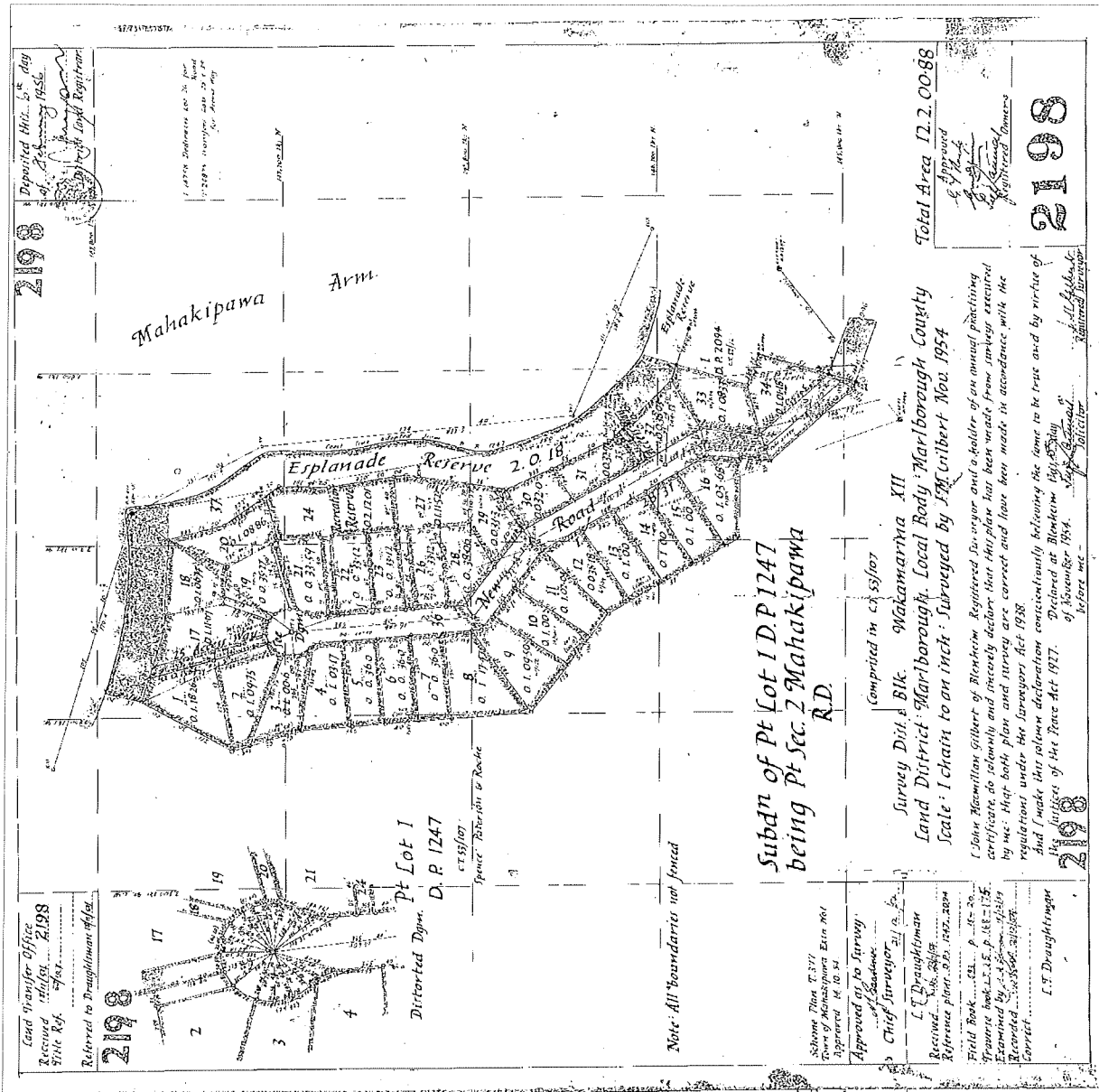
111889 Gazette Notice appointing the Marlborough Sounds Maritime Park Board to control and manage the within reserve as a reserve for local purpose (esplanade), subject to the provisions of the Reserves Act 1977 - 21.12.1982 at 2.18 pm

9871342.1 Certificate under section 186(1) of the Ngati Apa ki te Ra To, Ngati Kuia, and Rangitane o Wairau Claims Settlement Act 2014 that the within land is RFR land as defined in section 162 and is subject to Subpart 4 of Part 3 of the Act (which restricts disposal, including leasing, of the land) - 20.10.2014 at 7:00 am

9871352.1 Certificate under section 211(1) of the Ngati Toa Rangatira Claims Settlement Act 2014 that the within land is RFR land as defined in section 184 and is subject to Subpart 4 of Part 3 of the Act (which restricts disposal, including leasing, of the land) - 20.10.2014 at 7:00 am

9871349.1 Certificate under section 206(1) of the Ngati Koata, Ngati Rarua, Ngati Tama ki Te Tau Ihu, and Te Atiawa o Te Waka-a-Maui Claims Settlement Act 2014 that the within land is RFR land as defined in section 182 and subject to subpart 4 of part 3 of the Act (which restricts disposal, including leasing, of the land) - 20.10.2014 at 7:00 am





Land Transfer Office  
 Received this 19th day of 2198  
 Referred to Draughtsman Official  
 2198

2  
 3  
 4  
 17  
 19  
 20  
 21

Distorted Diagram  
 Pt Lot I  
 D.P. 1247  
 c/s 5/107  
 Space: Reservation & Reserve

Note: All boundaries not fenced

Shown this 11th day of November 1954  
 Approved by the Surveyor  
 Chief Surveyor J.M. Gilbert

Received by: L. T. Draughtsman  
 Reference Plan: D.P. 1247, 2004  
 Field Book: ...  
 Examined by: ...  
 Correct: ...  
 L. T. Draughtsman

Subdn of Pt Lot I D.P. 1247  
 being Pt Sec. 2 Mahakipawa  
 R.D.  
 Comprised in c/s 5/107  
 Survey Dist. & Blk. Wakamanna XII  
 Land District: Marlborough, Local Body: Marlborough County  
 Scale: 1 chain to an inch: Surveyed by J.M. Gilbert Nov. 1954

I, John Hamilton Gilbert of Newham Registered Surveyor and a holder of an annual practicing certificate, do solemnly and sincerely declare that this plan has been made from surveys executed by me; that both plan and survey are correct and have been made in accordance with the regulations under the Surveyors Act 1938 and I make this solemn declaration conscientiously believing the same to be true and by virtue of the Statute in that behalf made, Declared at Newham this 11th day of November 1954.  
 J.M. Gilbert  
 Registered Surveyor

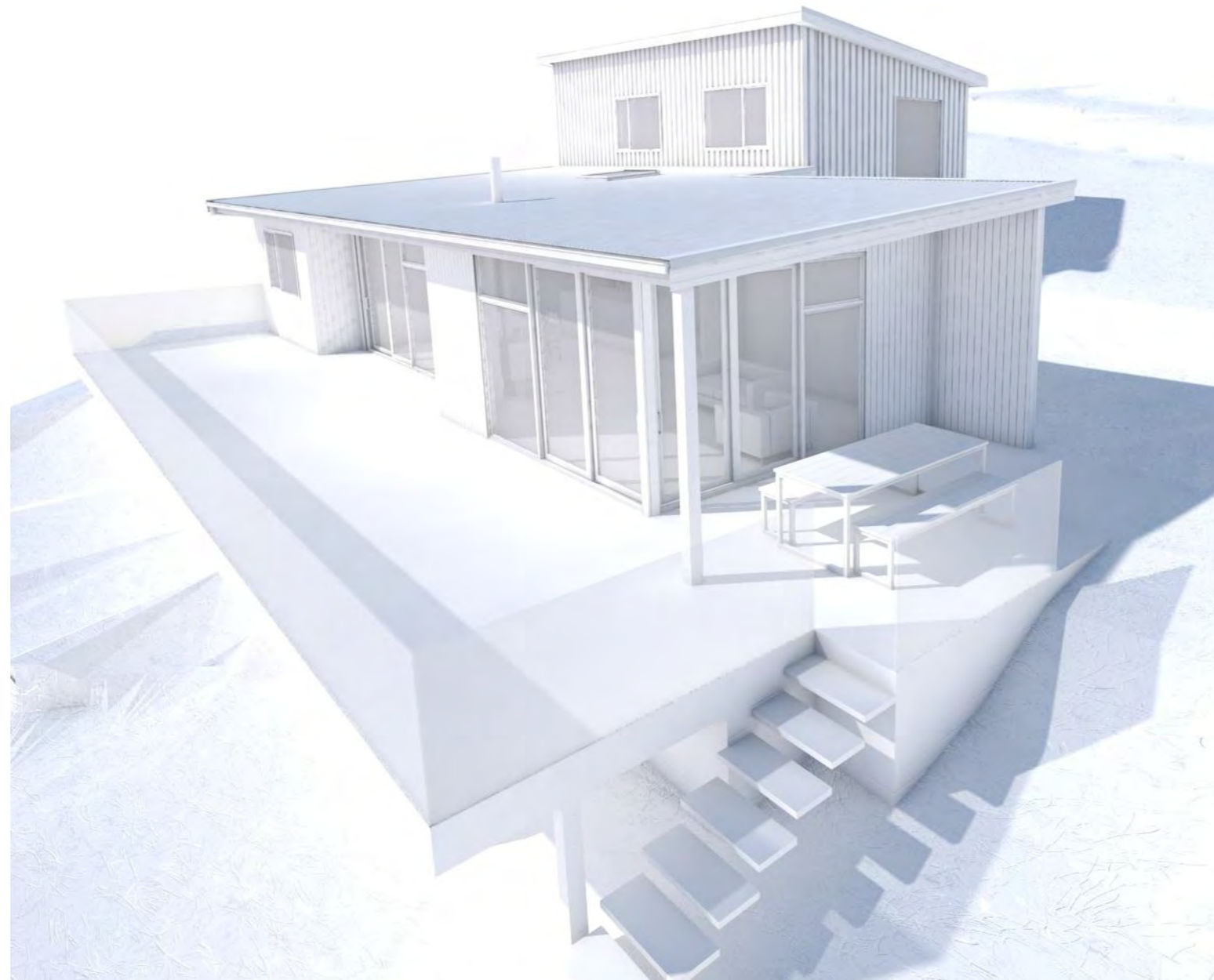
Total Area 12.2.00.88

Approved by: J.M. Gilbert  
 Chief Surveyor  
 2198





palatchie architecture + design ltd



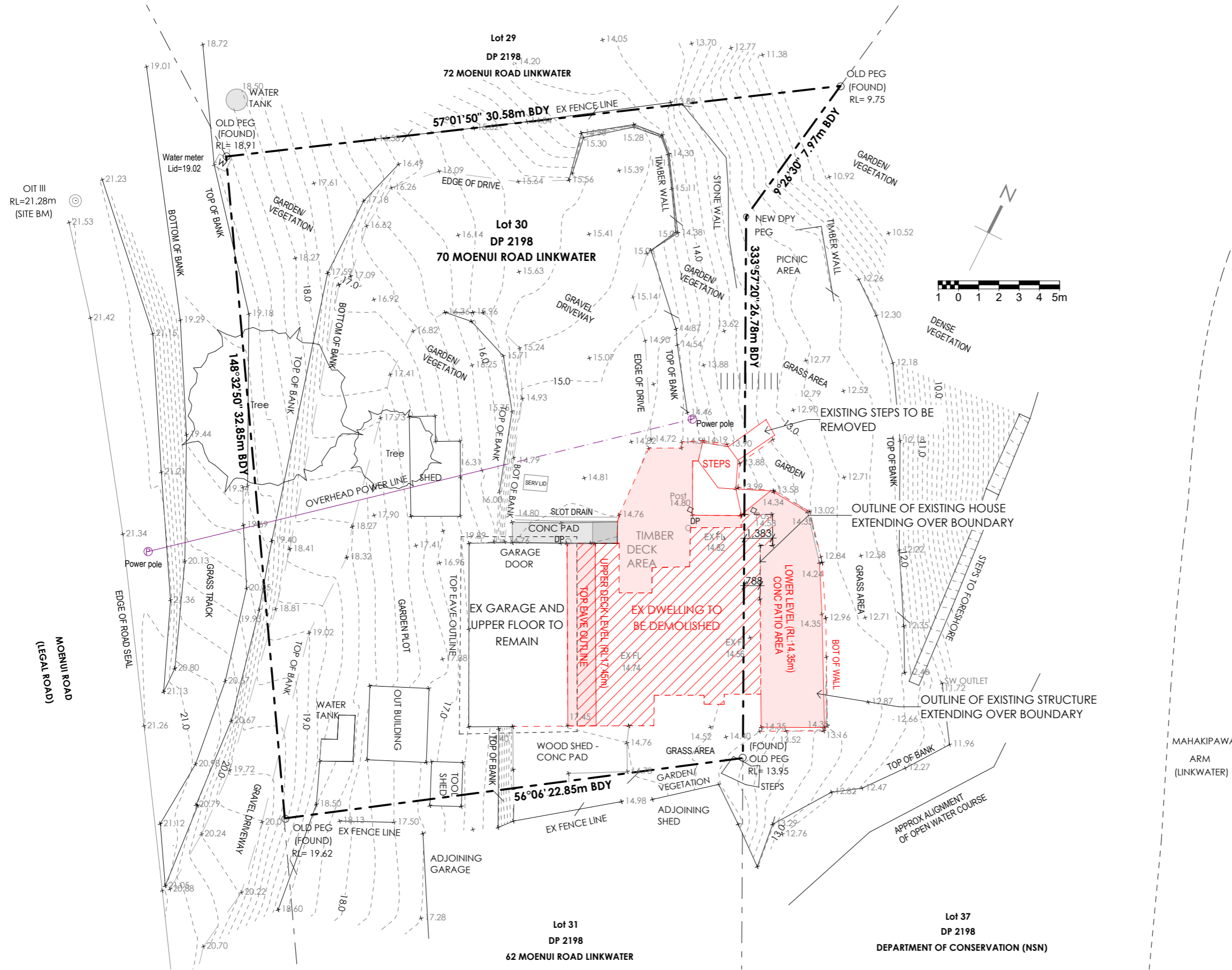
## ALTERATIONS TO EXISTING BACH

LINTERN

70 MOENUI ROAD, HAVELOCK

DRAWING ISSUE

PRICING



EXISTING SITE PLAN 1:200

**SITE INFO:**

ADDRESS	70 MOENUI ROAD
LEGAL DESCRIPTION	LOT 30 DP 2198
PROPERTY NUMBER	121179
MEP ZONE	COASTAL LIVING
SITE AREA	809m <sup>2</sup>
PROPOSED FOOTPRINT (INC. OVERHANGS >600MM)	127m <sup>2</sup>
CHANGE TO EXISTING PROPOSED SITE COVERAGE % (INC. DECK & ANCILLARY BUILDINGS)	9m <sup>2</sup> INCREASE 24%
HARD LANDSCAPING	62m <sup>2</sup>

**DESIGN ENVIRONMENT:**

CLIMATE ZONE	3
EARTHQUAKE ZONE	2
EXPOSURE ZONE	D
LEE ZONE	N/A
RAINFALL INTENSITY	60-70
WIND REGION	W
WIND ZONE	EXTRA HIGH (+55 M/S)
SNOW ZONE	N3
BUILDING IMPORTANCE LEVEL	2

**DEMOLITION NOTES:**

DEMOLITION QUALIFICATION  
 CARRY OUT DEMOLITION ONLY UNDER THE SUPERVISION OF A SUITABLY EXPERIENCED PERSON AND USING ONLY EXPERIENCED OPERATORS AND DRIVERS. OBTAIN AND PAY FOR ANY REQUIRED INSPECTION WHICH ARE ADDITIONAL TO THE BUILDING CONSENT. TAKE ALL PRECAUTIONS NECESSARY TO MINIMISE NUISANCE CAUSED BY DUST, DIRT, RUBBISH AND WATER. REINSTATE AND MAKE GOOD: REINSTATE AND MAKE GOOD DEMOLITION DAMAGE TO ADJOINING PROPERTIES, EXISTING WORK, SERVICES, OR PROPERTY.

SERVICES  
 BEFORE COMMENCING DEMOLITION ARRANGE WITH ALL UTILITY NETWORK OPERATORS TO DISCONNECT SERVICES AND REMOVE FITTINGS AND EQUIPMENT. PAY ALL FEES AND CHARGES FOR THIS WORK.

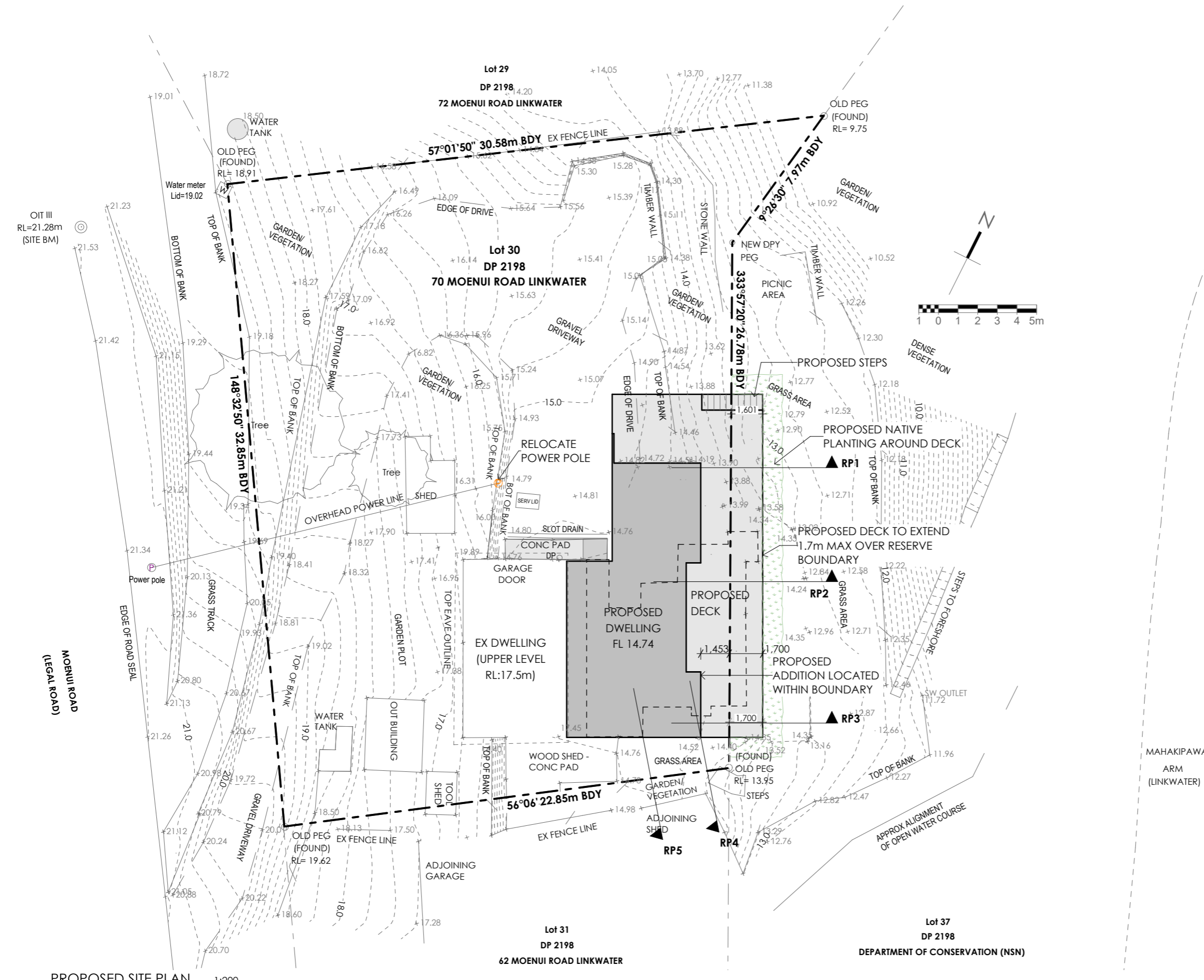
HAZARDOUS BUILDING MATERIALS  
 REMOVAL OF ALL HAZARDOUS BUILDING MATERIALS TO COMPLY WITH NZBC F2/AS1.  
 REMOVAL OF IDENTIFIED ACM WILL BE DONE BY A SUITABLY LICENCED CONTRACTOR AND WORK CLEARED BY AN INDEPENDANT ASBESTOS ASSESSOR. CLEARANCE CERTIFICATES WILL BE PROVIDED BY THE INDEPENDANT ASSESSOR. WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH CODE OF PRACTICE FOR THE MANAGEMENT AND REMOVAL OF ASBESTOS NOVEMBER 2016 (AMENDED DECEMBER 2016) TO ACHIEVE COMPLIANCE WITH THE HEALTH AND SAFETY AT WORK ACT 2015.  
 IF ANY EXISTING PAINTED SURFACES ARE EXPECTED TO CONTAIN LEAD-BASED PAINT, IT SHALL BE TESTED WITH AN APPROPRIATE TEST KIT.  
 IF THE TEST COMES BACK POSITIVE, THE GUIDELINES FOR THE MANAGEMENT OF LEAD-BASED PAINT JUNE 1995 (REVISED SEPTEMBER 2013) SHALL BE FOLLOWED TO ACHIEVE COMPLIANCE WITH THE HEALTH AND SAFETY AT WORK ACT 2015.



**ALTERATIONS TO EXISTING BACH**  
 LINTERN  
 70 MOENUI ROAD, HAVELOCK

REV	DATE	CHANGE
01	19/11/2021	

SCALE	AS SHOWN	DRAWING TITLE
SHEET SIZE	A3	EXISTING SITE
DATE	19/11/2021	SHEET REV
PROJECT #	2127	
SITE LOCATION	70 MOENUI ROAD HAVELOCK	
DRAWING ISSUE	PRICING	<b>DD02</b>
		<b>01</b>



**SITE INFO:**

ADDRESS	70 MOENUI ROAD
LEGAL DESCRIPTION	LOT 30 DP 2198
PROPERTY NUMBER	121179
MEP ZONE	COASTAL LIVING

SITE AREA	809m <sup>2</sup>
PROPOSED FOOTPRINT (INC. OVERHANGS >600MM)	127m <sup>2</sup>
CHANGE TO EXISTING	9m <sup>2</sup> INCREASE
PROPOSED SITE COVERAGE % (INC. DECK & ANCILLARY BUILDINGS)	24%
HARD LANDSCAPING	62m <sup>2</sup>

**DESIGN ENVIRONMENT:**

CLIMATE ZONE	3
EARTHQUAKE ZONE	2
EXPOSURE ZONE	D
LEE ZONE	N/A
RAINFALL INTENSITY	60-70
WIND REGION	W
WIND ZONE	EXTRA HIGH (+55 M/S)
SNOW ZONE	N3
BUILDING IMPORTANCE LEVEL	2

REFER DRAWING PD07 FOR RESSION PLANES

PROPOSED SITE PLAN 1:200



# ALTERATIONS TO EXISTING BACH

## LINTERN

70 MOENUI ROAD, HAVELOCK

REV	DATE	CHANGE
01	19/11/2021	

SCALE	AS SHOWN	DRAWING TITLE
SHEET SIZE	A3	PROPOSED SITE PLAN
DATE	19/11/2021	SHEET REV
PROJECT #	2127	
SITE LOCATION	70 MOENUI ROAD HAVELOCK	
DRAWING ISSUE	PRICING	<b>DD03</b>
		<b>01</b>

STRUCTURE:

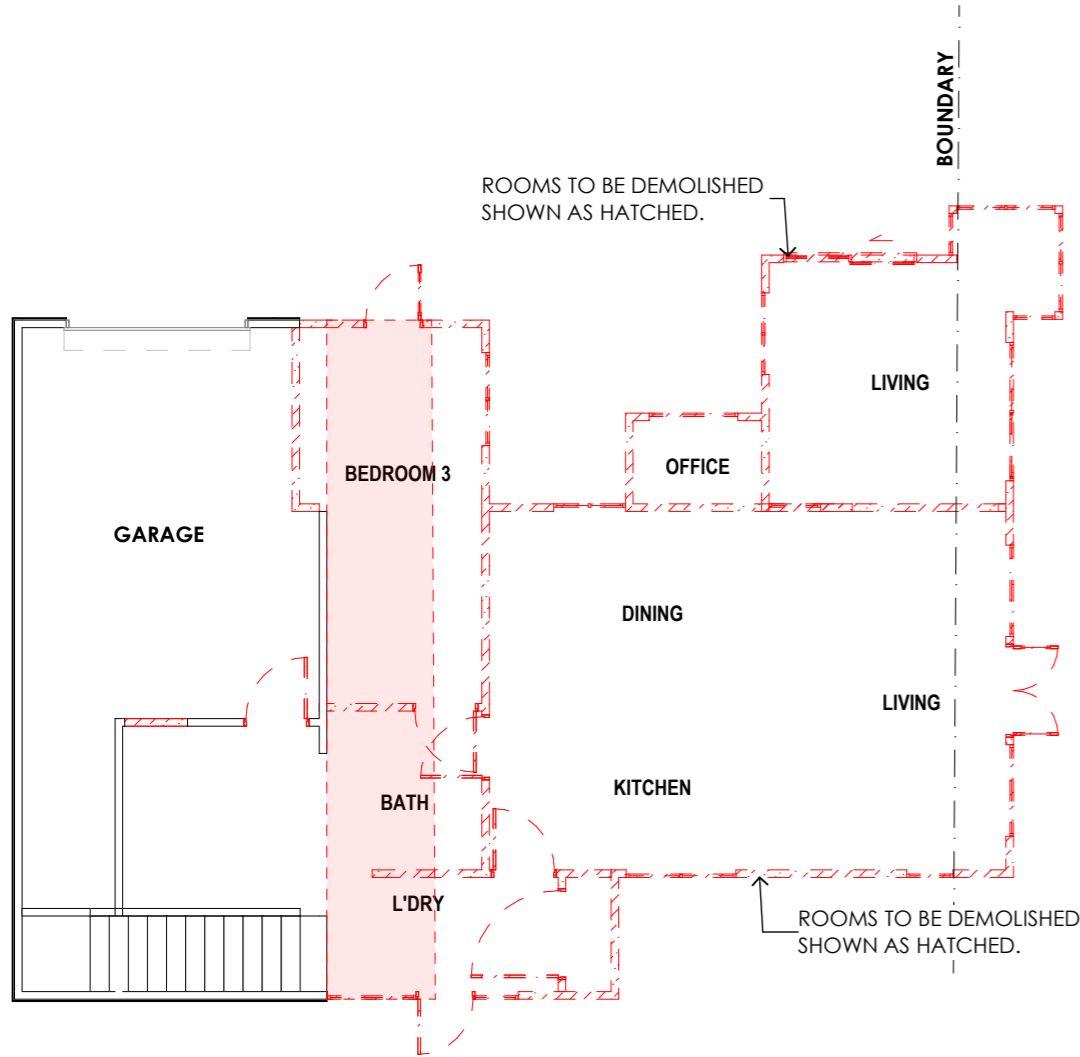
**TIMBER FLOOR FRAMING**  
 F1 - H3.2 140x45 JOISTS @600 CTRS (MAX SPAN 2m). DOUBLE JOISTS BELOW PARALLEL AND LOAD BEARING WALLS.  
 F2 - H4 140x70 BEARERS MAX SPAN 1.3m CONTINUOUS OVER 2 SPANS  
 F3 - H5 TIMBER PILES 125x125 @ 1.3m MAX CENTRES

**TIMBER ROOF FRAMING**  
 R1 - H1.2 TIMBER TRUSSES AT 900CTRS. INCREASE TO 1150mm SPACING EITHER SIDE OF SKYLIGHT  
 R2 - 190x45 CANTILEVERED RAFTERS TO SOFFIT  
 L1 - 200x90 HYSBAN LINTEL

**HYSBAN LINTELS**  
 90x45 H1.2 SG8 TIMBER WALL FRAMING. DWANGS TO SUIT LINING / CLADDING REQUIREMENTS.

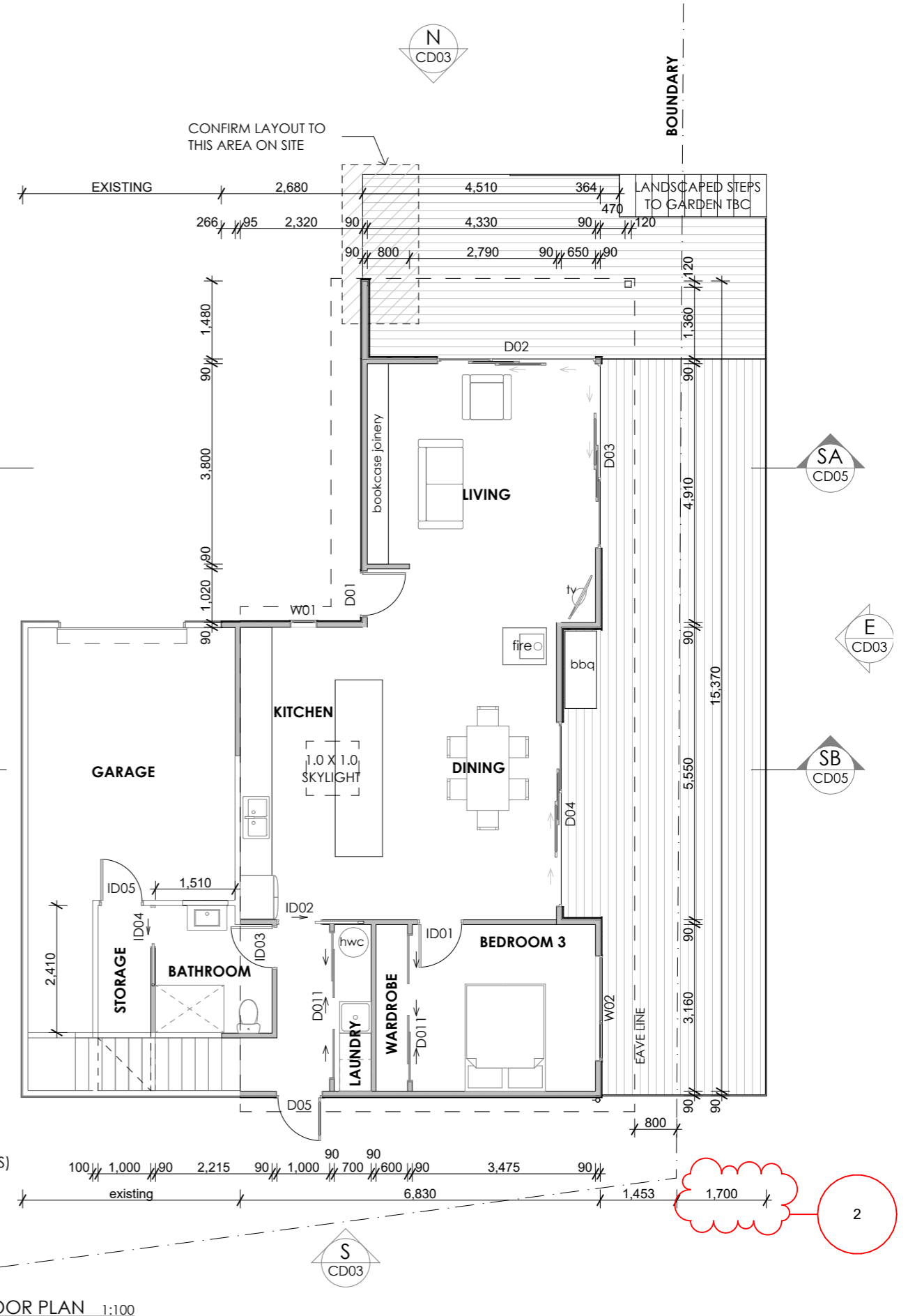
**INSULATION**  
 R3.6 180mm CEILING BATT INSULATION. ENSURE 20mm CAVITY ABOVE  
 R2.4 90mm BATT WALL INSULATION. TIGHTLY FITTED TO ENSURE NO SLUMP  
 250 MICRON DPM WITH TAPED JOINS LAID OVER GROUND  
 R1.8 GRAPHITE INFUSED EPS UNDERFLOOR INSULATION. TIGHTLY FITTED WITH NO GAPS.

**FLOOR COVERING**  
 SELECTED CARPET COVERING ON QUALITY UNDERLAY (11-12mm 130KG/3 min)  
 SELECTED 10mm WIDE FORMAT TILES ON WATERPROOF MEMBRANE



DESIGN ENVIRONMENT:

CLIMATE ZONE	3
EARTHQUAKE ZONE	2
EXPOSURE ZONE	D
LEE ZONE	N/A
RAINFALL INTENSITY	60-70
WIND REGION	W
WIND ZONE	EXTRA HIGH (+55 M/S)
SNOW ZONE	N3
BUILDING IMPORTANCE LEVEL	2

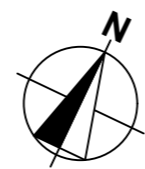


EXISTING FLOOR PLAN 1:100

PROPOSED FLOOR PLAN 1:100



**ALTERATIONS TO EXISTING BACH**  
 LINTERN  
 70 MOENUI ROAD, HAVELOCK



REV	DATE	CHANGE
01	19/11/2021	extend deck

SCALE	AS SHOWN	DRAWING TITLE
SHEET SIZE	A3	FLOOR PLANS
DATE	19/11/2021	SHEET REV
PROJECT #	2127	
SITE LOCATION	70 MOENUI ROAD HAVELOCK	
DRAWING ISSUE	PRICING	<b>DD04</b>
		<b>01</b>



**ROOF CLADDING KEY:**

**ROOF CLADDING**  
 431.03 ROOFING INDUSTRIES 0.55mm BMT COLORCOTE MAGNAFLOW CORRUGATE PROFILE METAL ROOFING ON THERMAKRAFT COVERTEK 405 UNDERLAY ON 45x20 'VENT V20' VENTED BATTEN ON 70x45 SG8 H1.2 TIMBER PURLINS.

**ROOF DRAINAGE**  
 72.02 ROOFING INDUSTRIES 125x125 COLORCOTE QUARTER ROUND SPOUTING WITH CONCEALED BRACKETS  
 72.05 80mm Ø ROUND COLORCOTE DOWNPIPE ON CLIPS @ 1200 CRS.

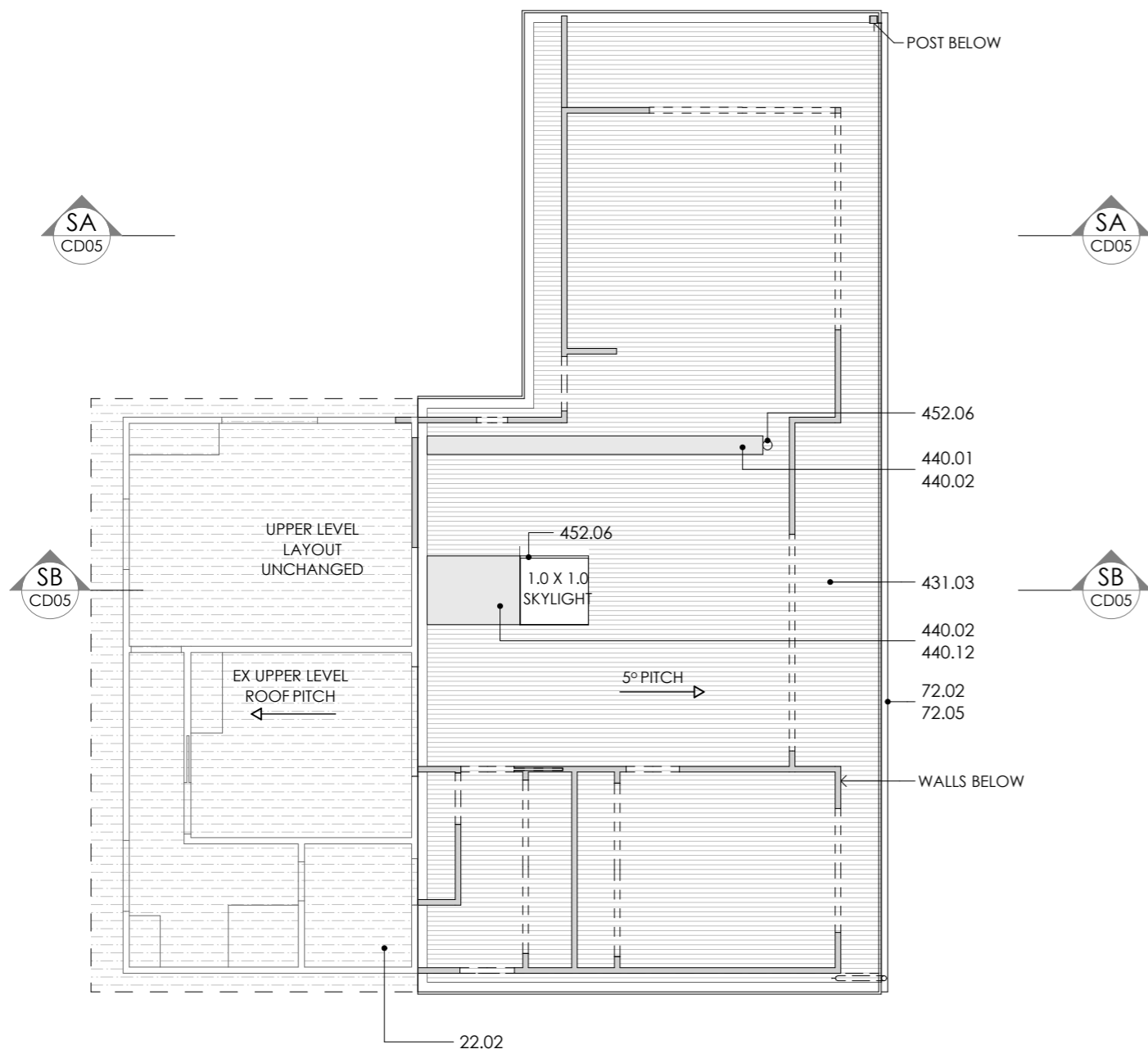
22.02 EXISTING ROOF CLADDING TO REMAIN

**ROOF FLASHINGS & VENT**

74.02 LOGBURNER BOSCA LIMIT 380 WITH FLUE  
 440.01 OVER-FLASHED BOOT WITH ARROWHEAD SOAKER  
 440.02 OVERSHEET TO CONTINUE TO RIDGE  
 440.12 BACK FLASHING WITH ARROWHEAD SOAKER

**DESIGN ENVIRONMENT:**

CLIMATE ZONE	3
EARTHQUAKE ZONE	2
EXPOSURE ZONE	D
LEE ZONE	N/A
RAINFALL INTENSITY	60-70
WIND REGION	W
WIND ZONE	EXTRA HIGH (+55 M/S)
SNOW ZONE	N3
BUILDING IMPORTANCE LEVEL	2



ROOF PLAN 1:100



**ALTERATIONS TO EXISTING BACH**  
 LINTERN  
 70 MOENUI ROAD, HAVELOCK



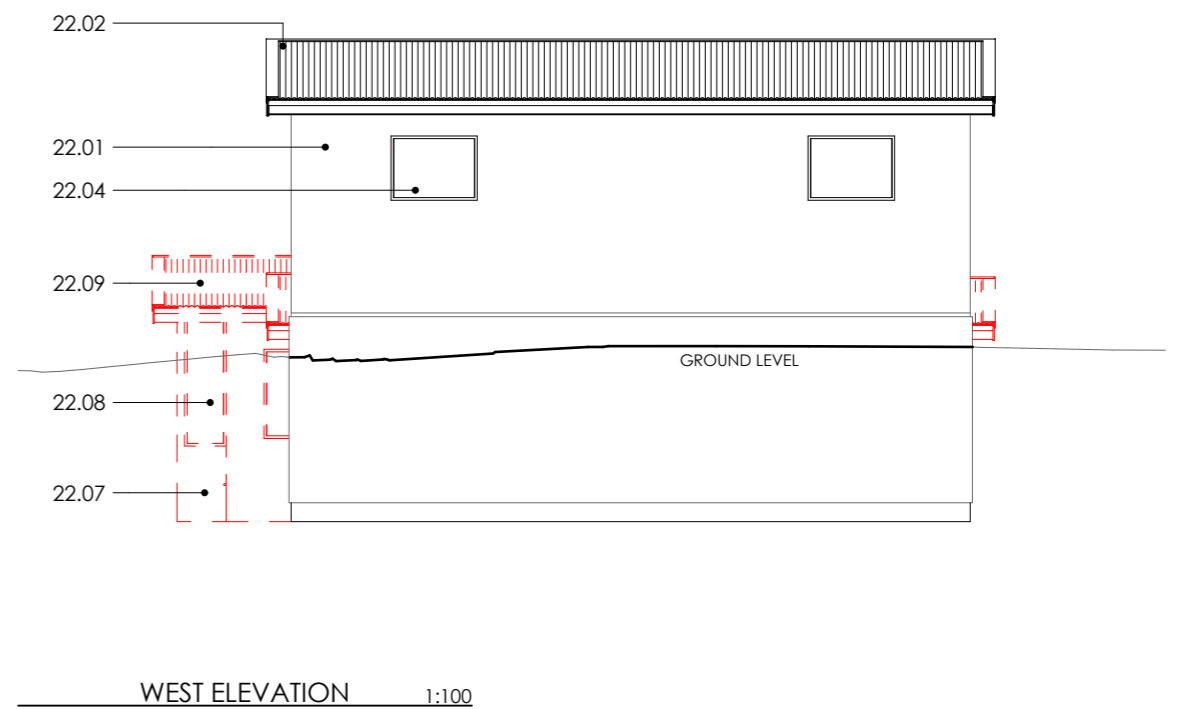
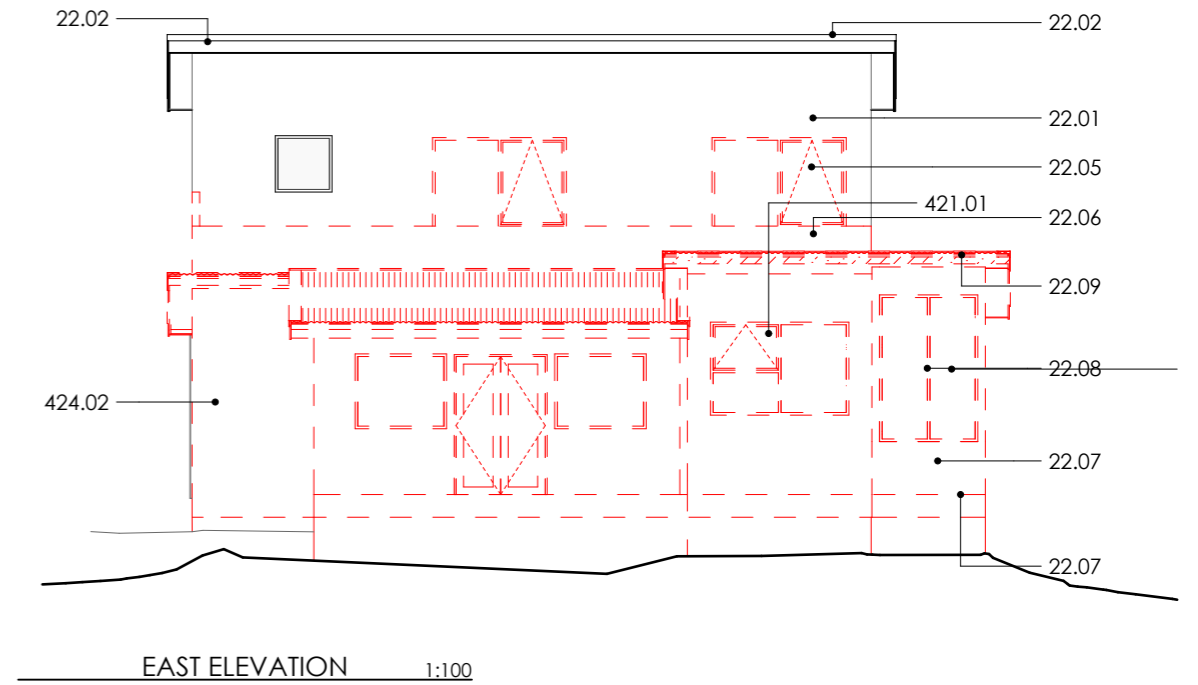
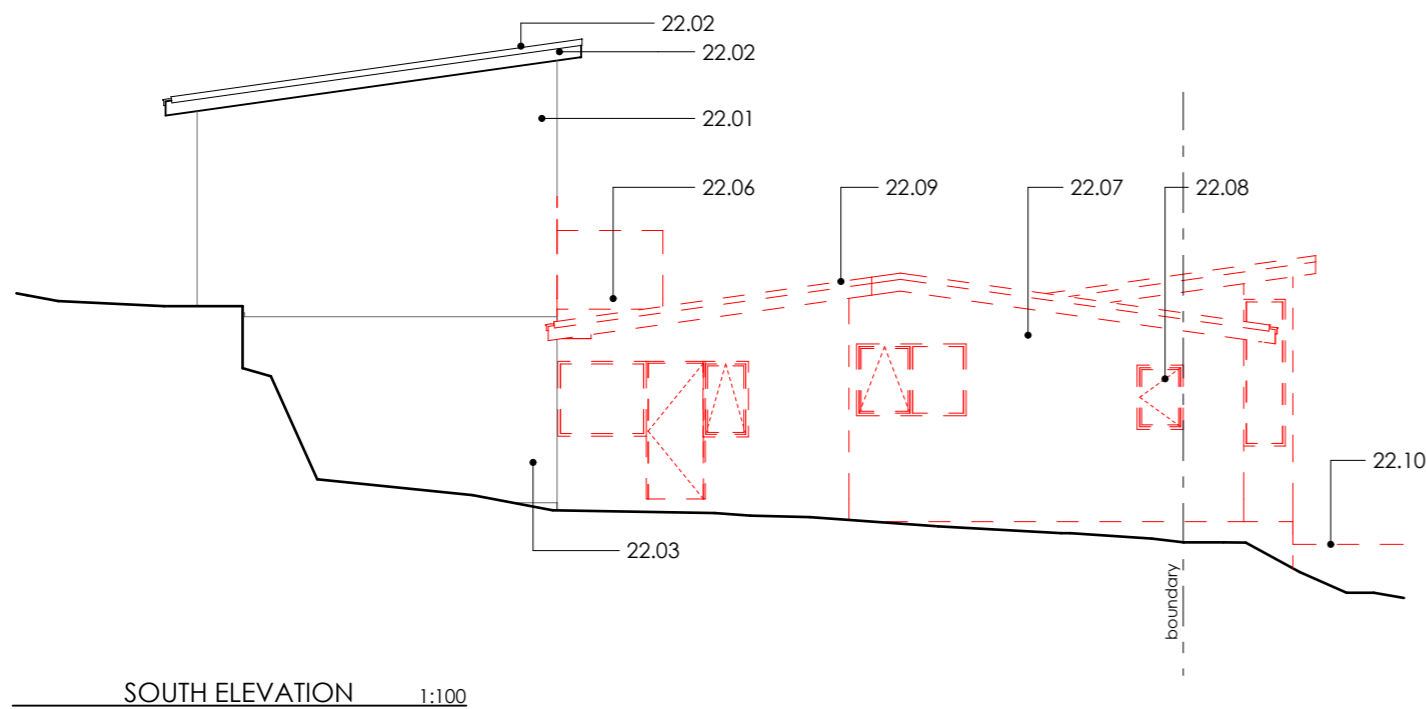
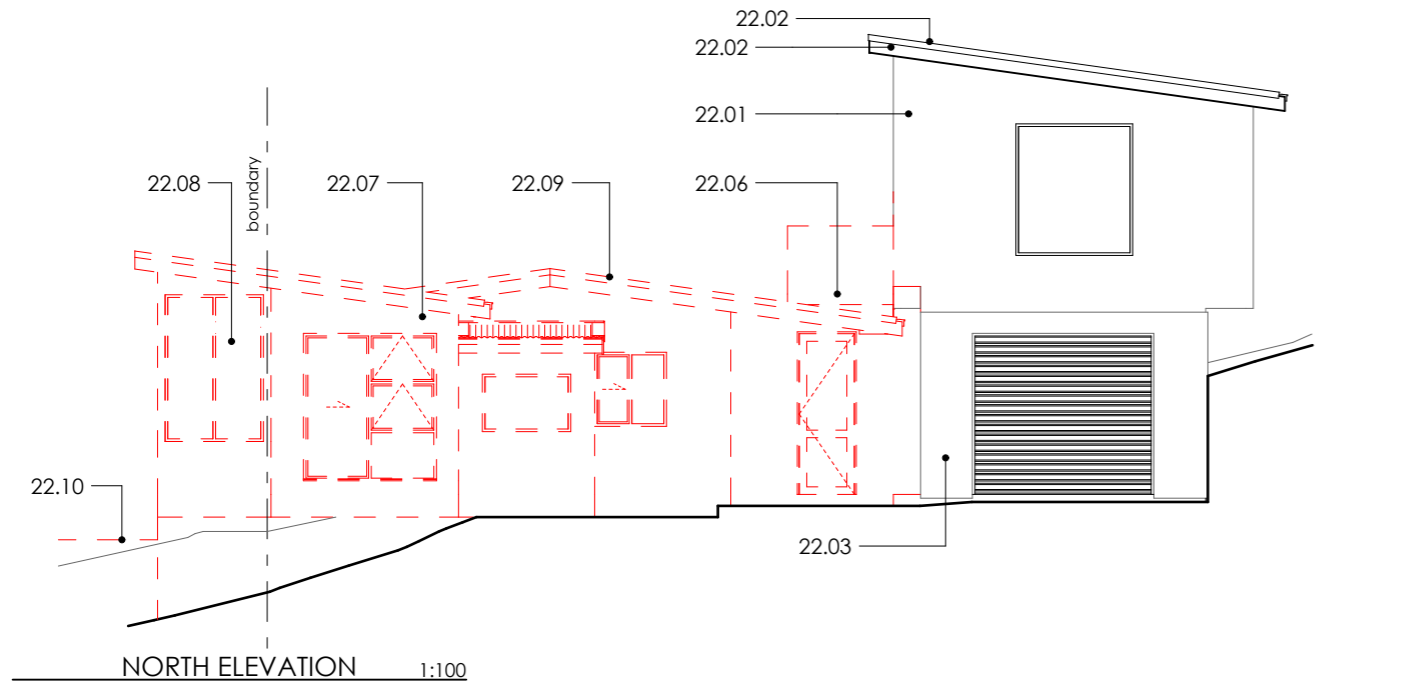
REV	DATE	CHANGE
01	19/11/2021	

SCALE	AS SHOWN
SHEET SIZE	A3
DATE	19/11/2021
PROJECT #	2127
SITE LOCATION	70 MOENUI ROAD HAVELOCK
<b>DRAWING ISSUE</b>	<b>PRICING</b>

DRAWING TITLE	
ROOF PLAN	
SHEET	REV
<b>DD05</b>	<b>01</b>

EXISTING / DEMOLITION KEY:

- |       |                                      |       |                                     |
|-------|--------------------------------------|-------|-------------------------------------|
| 22.01 | REMOVE EXISTING UPPER LEVEL CLADDING | 22.06 | REMOVE EXISTING UPPER LEVEL BALCONY |
| 22.02 | EXISTING ROOF CLADDING TO REMAIN     | 22.07 | REMOVE EXISTING UPPER LEVEL DECKING |
| 22.03 | EXISTING LOWER CLADDING TO REMAIN    | 22.08 | REMOVE EXISTING WINDOWS             |
| 22.04 | EXISTING WINDOW TO REMAIN            | 22.09 | DEMOLISH LOWER LEVEL ROOF           |
| 22.05 | REMOVE EXISTING UPPER EAST WINDOWS   | 22.10 | DEMOLISH EXISTING PATIO             |



**ALTERATIONS TO EXISTING BACH**  
LINTERN  
70 MOENUI ROAD, HAVELOCK

REV	DATE	CHANGE	SCALE	AS SHOWN	DRAWING TITLE
01	19/11/2021				EXISTING ELEVATIONS
			SHEET SIZE	A3	
			DATE	19/11/2021	
			PROJECT #	2127	SHEET REV
			SITE LOCATION	70 MOENUI ROAD HAVELOCK	
			DRAWING ISSUE	PRICING	<b>DD06</b>
					<b>01</b>

**BUILDING ENVELOPE KEY:**

**WALL CLADDING**

- 424.02 ROOFING INDUSTRIES MULTIRIB REVERSE RUN NO SWAGE VERTICAL CLADDING COLORCOTE MAGNAFLOW ON CAVITY BATS TO 7mm ECOPLY RIGID AIR BARRIER
- 423.01 JAMES HARDIE AXON PANEL ON 20mm HORIZONTAL CAVITBATS. PAINT FINISH
- 422.03 6mm FIBRE CEMENT SOFFIT ON 45mm BATTENS AT 600mm CENTRES MAX

**ROOF CLADDING**

- 431.03 ROOFING INDUSTRIES 0.55mm BMT COLORCOTE MAGNAFLOW CORRUGATE PROFILE METAL ROOFING ON THERMAKRAFT COVERTEK 405 UNDERLAY ON 45x20 'VENT V20' VENTED BATTEN ON 70x45 SG8 H1.2 TIMBER PURLINS.

**ROOF DRAINAGE**

- 72.02 ROOFING INDUSTRIES 125x125 COLORCOTE QUARTER ROUND SPOUTING WITH CONCEALED BRACKETS
- 72.05 80mm Ø ROUND COLORCOTE DOWNPIPE ON CLIPS @ 1200 CRS.

**WINDOWS AND DOORS**

- 452.06 NEBULITE 35mm PACIFIC RESIDENTIAL SUITE. POWDERCOAT DURALLOY+ 15YR WARRANTY. REFER WINDOW SCHEDULE

**SKYLIGHTS**

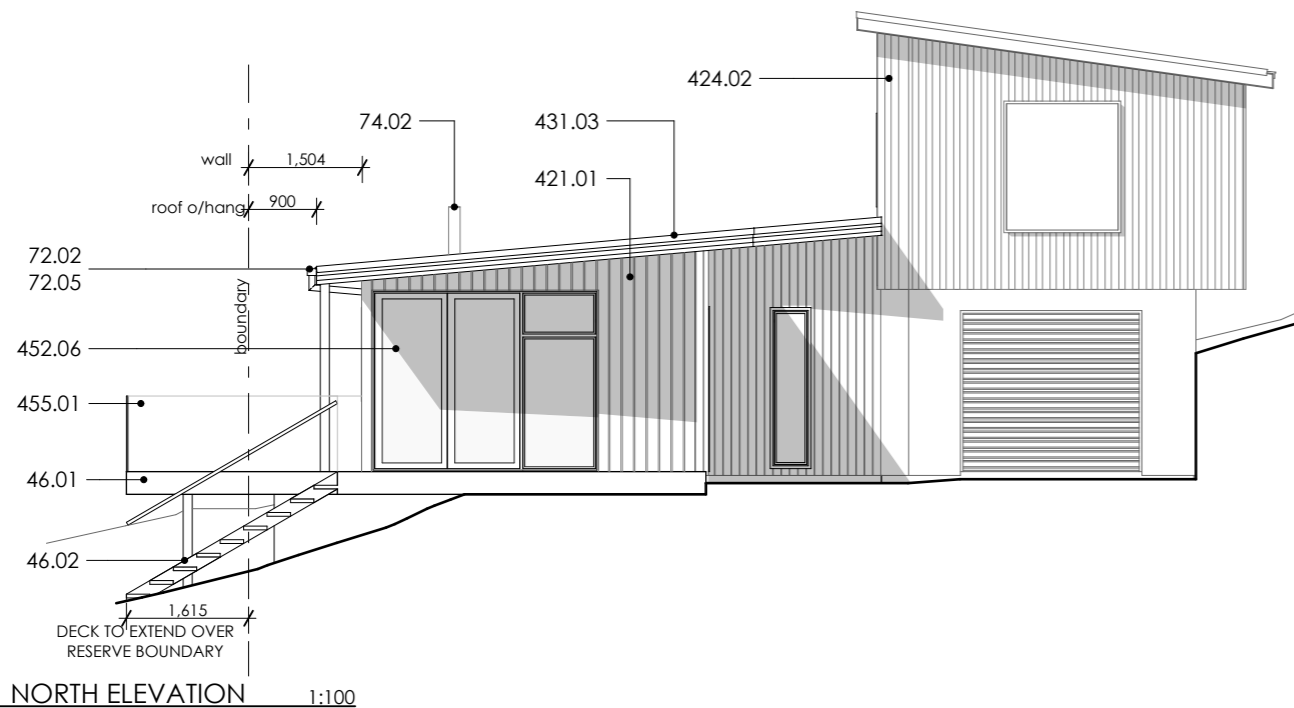
- 453.02 SKYLIGHTS BY ADLUX SK01 - 1000x1000 FIXED OVER UNIT OVER KITCHEN

**TIMBER DECKING**

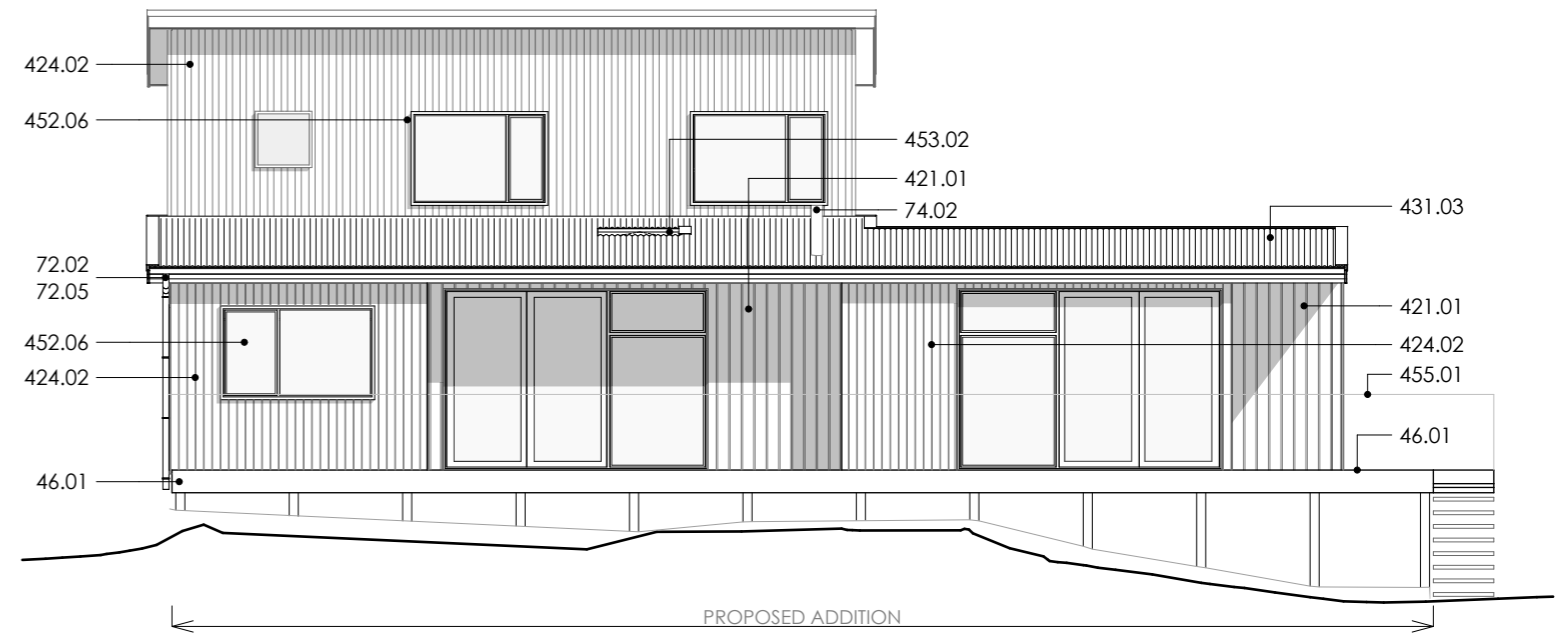
- 46.01 90x32 H3.2 RADIATA PREMIUM GRADE TIMBER DECKING. GRIP TREAD FACE UP. NON SLIP STAIN FINISH
- 455.01 FRAMELESS GLASS BALUSTRADE WITH STAINLESS STEEL FIXINGS
- 46.02 PROPOSED TIMBER AND HANDRAIL DOWN TO RESERVE TBC

**DESIGN ENVIRONMENT:**

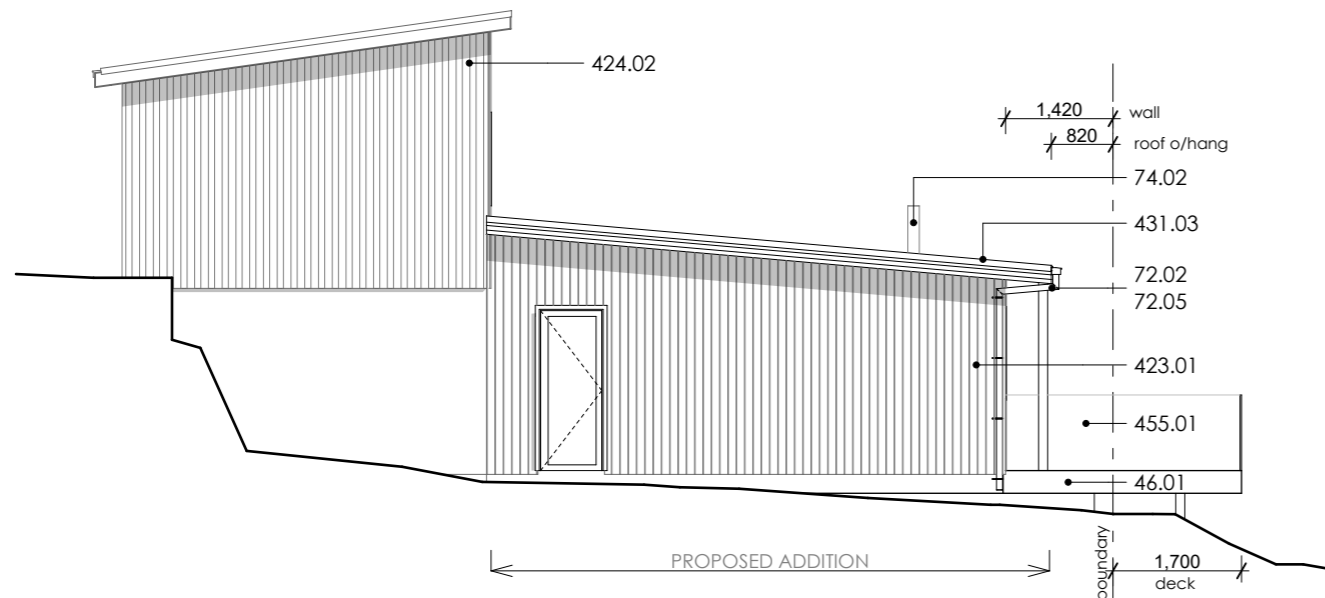
CLIMATE ZONE	3
EARTHQUAKE ZONE	2
EXPOSURE ZONE	D
LEE ZONE	N/A
RAINFALL INTENSITY	60-70
WIND REGION	W
WIND ZONE	EXTRA HIGH (+55 M/S)
SNOW ZONE	N3
BUILDING IMPORTANCE LEVEL	2



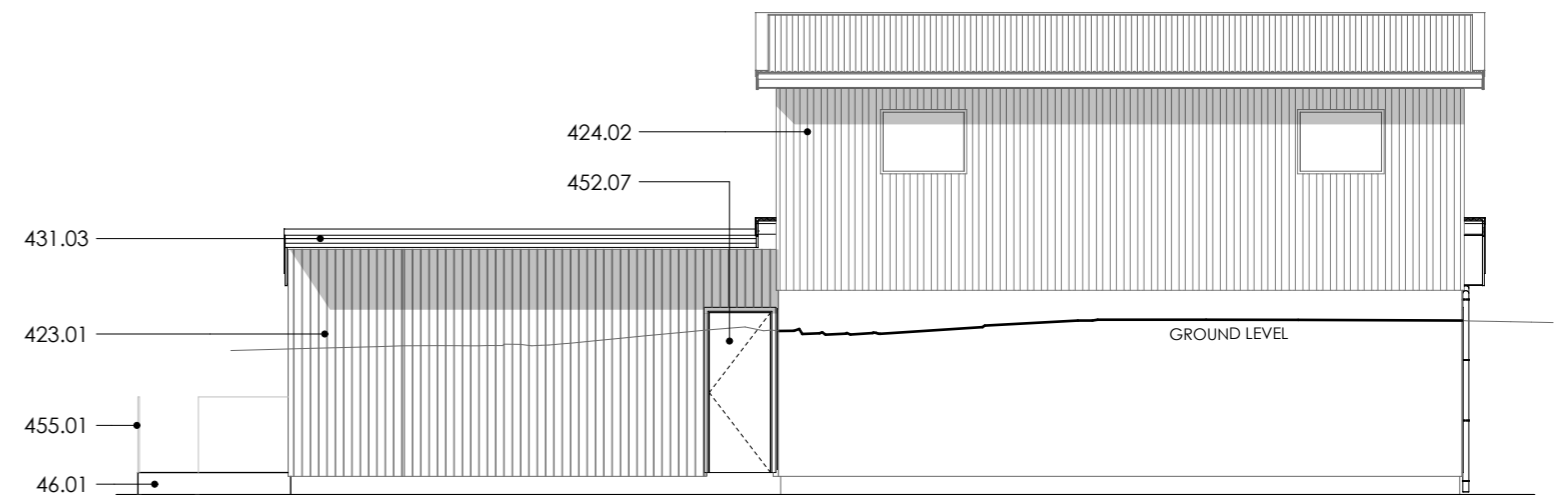
**NORTH ELEVATION** 1:100



**EAST ELEVATION** 1:100



**SOUTH ELEVATION** 1:100



**WEST ELEVATION** 1:100

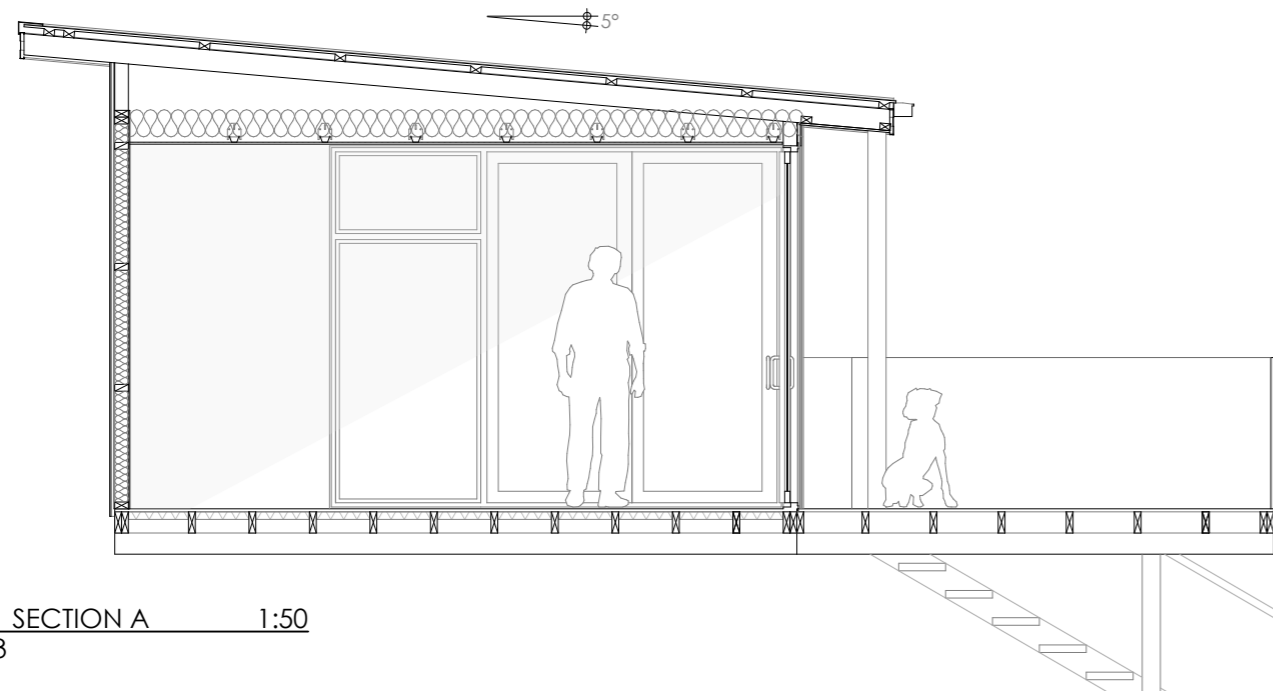


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www.palatchiearchitecture.co.nz  
18 pitchill st blenheim nz

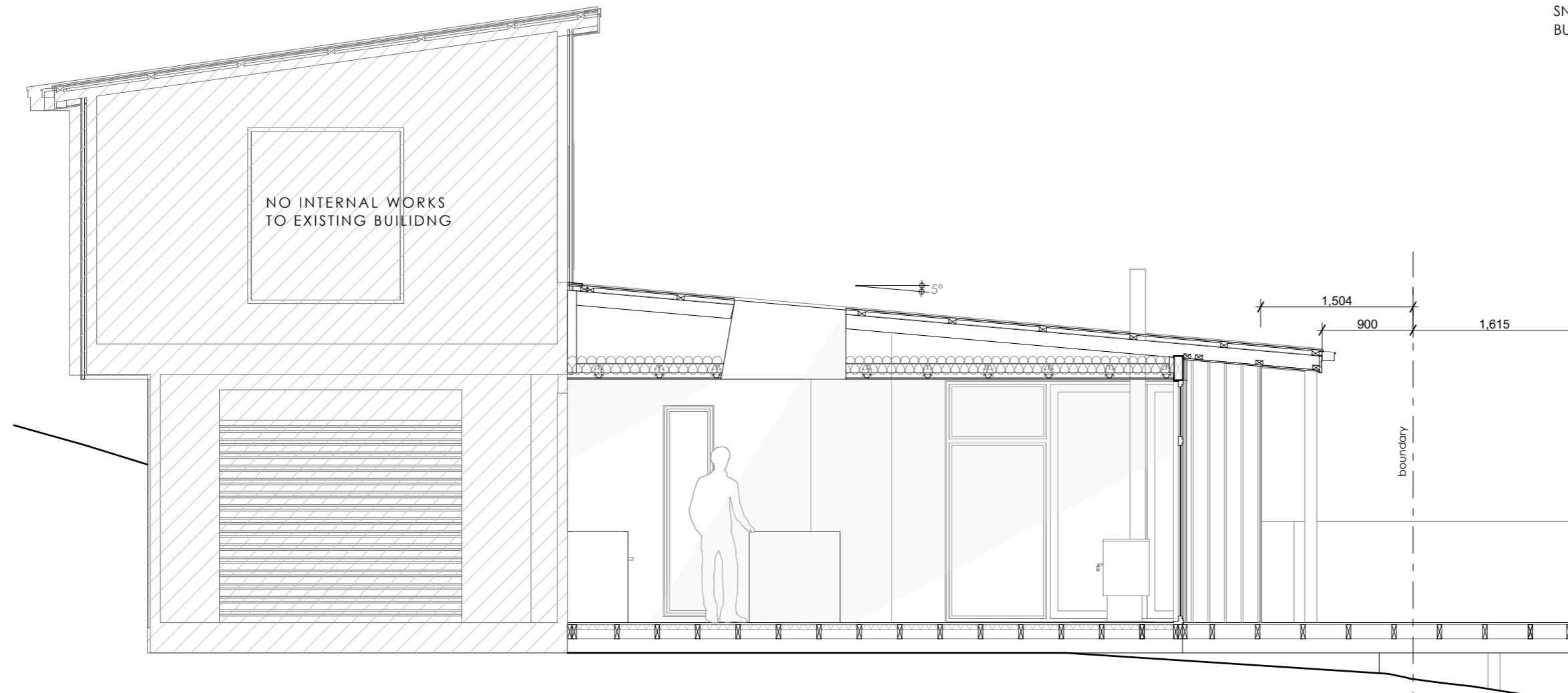
**ALTERATIONS TO EXISTING BACH**  
LINTERN  
70 MOENUI ROAD, HAVELOCK

REV	DATE	CHANGE
01	19/11/2021	

SCALE	AS SHOWN	DRAWING TITLE
SHEET SIZE	A3	PROPOSED ELEVATIONS
DATE	19/11/2021	SHEET REV
PROJECT #	2127	
SITE LOCATION	70 MOENUI ROAD HAVELOCK	
DRAWING ISSUE	PRICING	<b>DD07 01</b>



SECTION A 1:50  
PD02, PD03



SECTION B 1:50  
PD02, PD03

STRUCTURE:

- TIMBER FLOOR FRAMING**  
F1 - H3.2 140x45 JOISTS @600 CTRS (MAX SPAN 2m). DOUBLE JOISTS BELOW PARALLEL AND LOAD BEARING WALLS.  
F2 - H4 140x70 BEARERS MAX SPAN 1.3m CONTINUOUS OVER 2 SPANS  
F3 - H5 TIMBER PILES 125x125 @ 1.3m MAX CENTRES
- TIMBER ROOF FRAMING**  
R1 - H1.2 TIMBER TRUSSES AT 900CTRS. INCREASE TO 1150mm SPACING EITHER SIDE OF SKYLIGHT  
R2 - 190x45 CANTILEVERED RAFTERS TO SOFFIT  
L1 - 200x90 HYSpan LINTEL
- HYSpan LINTELS**  
90x45 H1.2 SG8 TIMBER WALL FRAMING. DWANGS TO SUIT LINING / CLADDING REQUIREMENTS.

- INSULATION**  
R3.6 180mm CEILING BATT INSULATION. ENSURE 20mm CAVITY ABOVE  
R2.4 90mm BATT WALL INSULATION. TIGHTLY FITTED TO ENSURE NO SLUMP  
250 MICRON DPM WITH TAPED JOINS LAID OVER GROUND  
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SELECTED CARPET COVERING ON QUALITY UNDERLAY (11-12mm 130KG/3 min)  
SELECTED 10mm WIDE FORMAT TILES ON WATERPROOF MEMBRANE

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EARTHQUAKE ZONE	2
EXPOSURE ZONE	D
LEE ZONE	N/A
RAINFALL INTENSITY	60-70
WIND REGION	W
WIND ZONE	EXTRA HIGH (+55 M/S)
SNOW ZONE	N3
BUILDING IMPORTANCE LEVEL	2

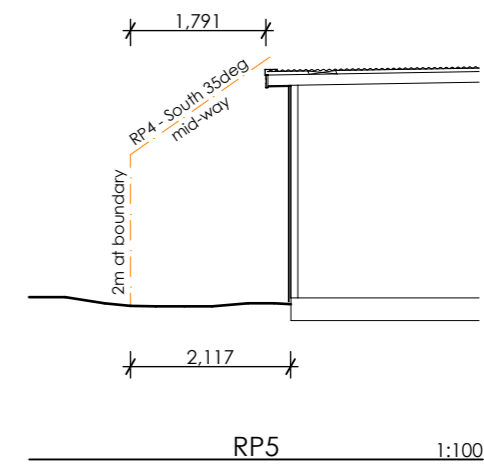
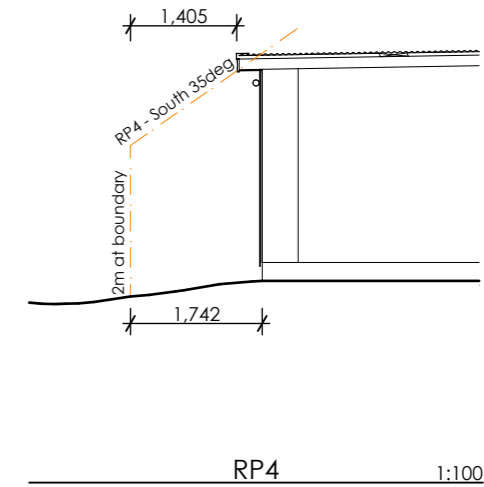
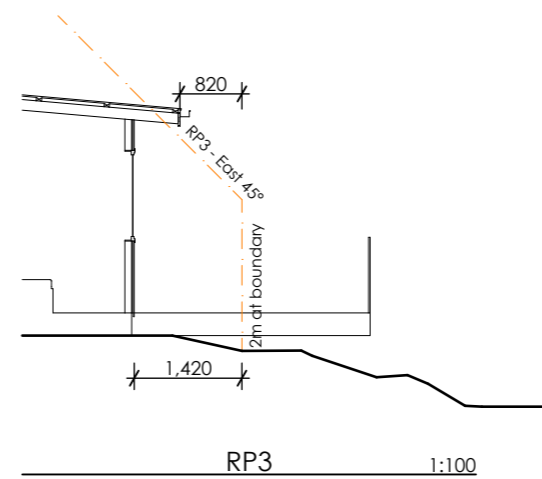
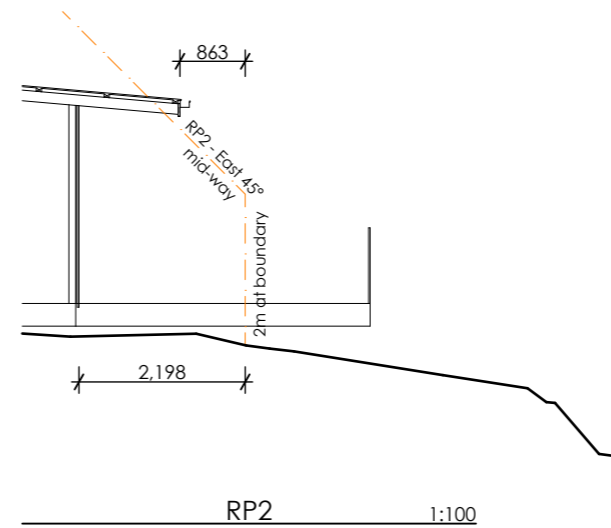
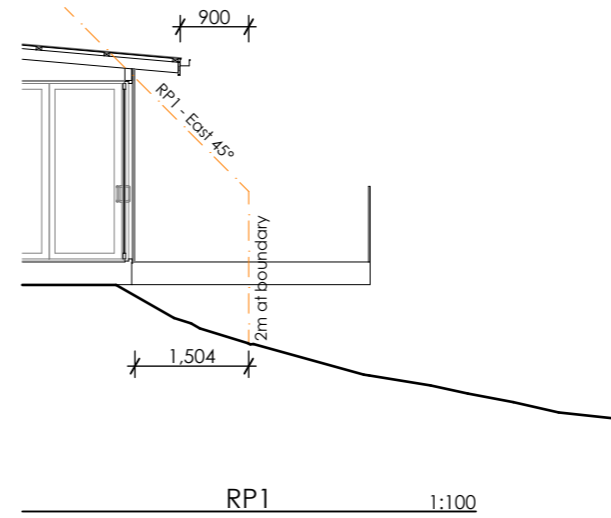
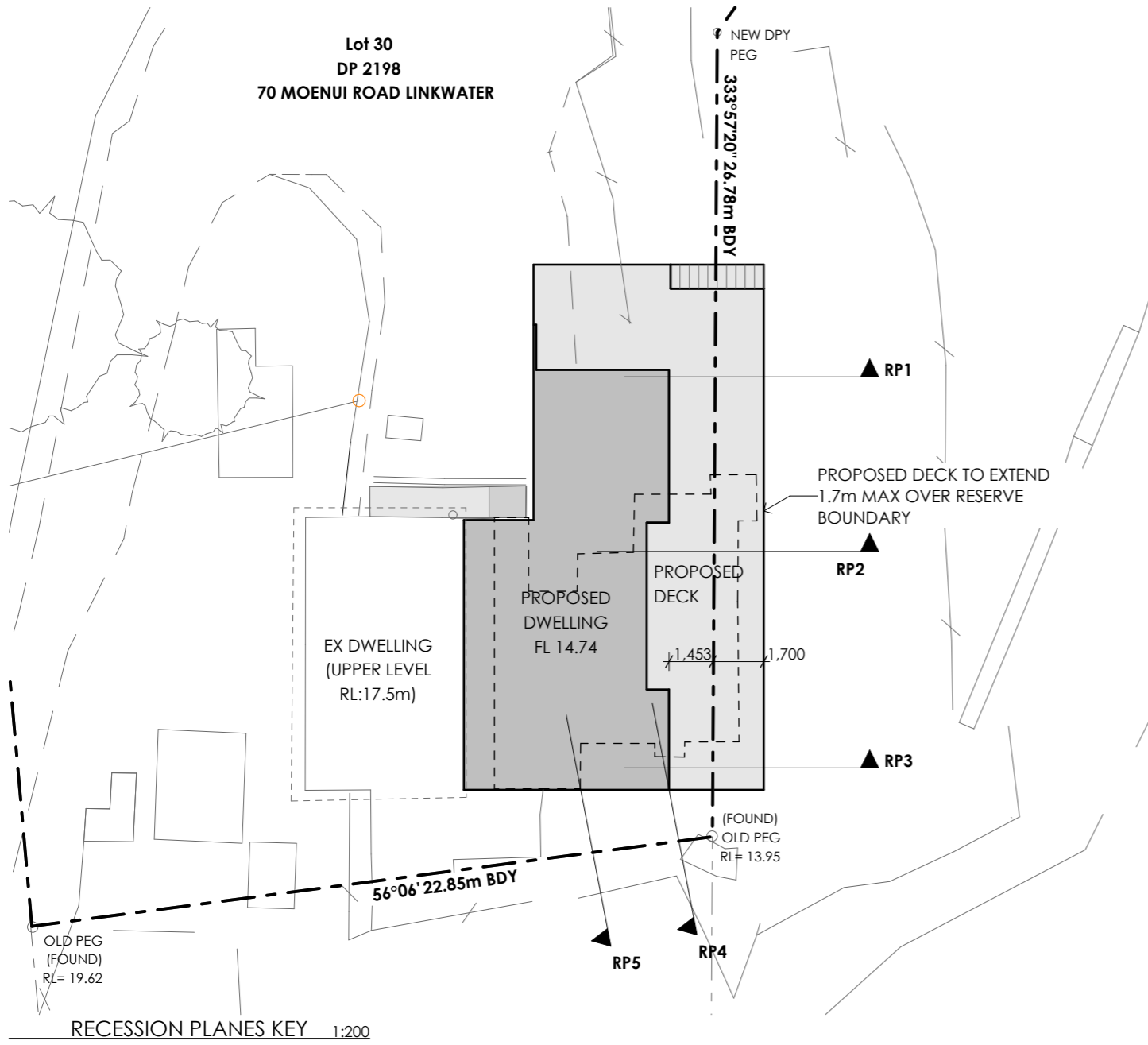
NO INTERNAL WORKS TO EXISTING BUILDING

REV	DATE	CHANGE
01	19/11/2021	

SCALE	AS SHOWN
SHEET SIZE	A3
DATE	19/11/2021
PROJECT #	2127
SITE LOCATION	70 MOENUI ROAD HAVELOCK
DRAWING ISSUE	PRICING

DRAWING TITLE	PROPOSED SECTIONS
SHEET	REV

Lot 30  
DP 2198  
70 MOENUI ROAD LINKWATER



# ALTERATIONS TO EXISTING BACH

## LINTERN

70 MOENUI ROAD, HAVELOCK

REV	DATE	CHANGE
01	19/11/2021	

SCALE	AS SHOWN
SHEET SIZE	A3
DATE	19/11/2021
PROJECT #	2127
SITE LOCATION	70 MOENUI ROAD HAVELOCK
DRAWING ISSUE	PRICING

DRAWING TITLE	RECESSION PLANES
SHEET	REV
<b>DD09</b>	<b>01</b>